



# WOKINGHAM BOROUGH COUNCIL

A Meeting of the **PLANNING COMMITTEE** will be held in the Council Chamber - Civic Offices, Shute End, Wokingham RG40 1BN on **WEDNESDAY 11 AUGUST 2021 AT 7.00 PM**

A handwritten signature in black ink, appearing to read 'Susan Parsonage', written in a cursive style.

Susan Parsonage  
Chief Executive  
Published on 3 August 2021

Note: Although non-Committee Members and members of the public are entitled to attend the meeting in person, space is very limited due to the ongoing Coronavirus pandemic. You can however participate in this meeting virtually, in line with the Council's Constitution. If you wish to participate either in person or virtually via Microsoft Teams, please contact Democratic Services. The meeting can also be watched live using the following link:

[https://youtu.be/J3V6iG\\_oL8U](https://youtu.be/J3V6iG_oL8U)

Please note that other people may film, record, tweet or blog from this meeting. The use of these images or recordings is not under the Council's control.



# WOKINGHAM BOROUGH COUNCIL

## Our Vision

*A great place to live, learn, work and grow and a great place to do business*

### Enriching Lives

- Champion outstanding education and enable our children and young people to achieve their full potential, regardless of their background.
- Support our residents to lead happy, healthy lives and provide access to good leisure facilities to complement an active lifestyle.
- Engage and involve our communities through arts and culture and create a sense of identity which people feel part of.
- Support growth in our local economy and help to build business.

### Safe, Strong, Communities

- Protect and safeguard our children, young and vulnerable people.
- Offer quality care and support, at the right time, to prevent the need for long term care.
- Nurture communities and help them to thrive.
- Ensure our borough and communities remain safe for all.

### A Clean and Green Borough

- Do all we can to become carbon neutral and sustainable for the future.
- Protect our borough, keep it clean and enhance our green areas.
- Reduce our waste, improve biodiversity and increase recycling.
- Connect our parks and open spaces with green cycleways.

### Right Homes, Right Places

- Offer quality, affordable, sustainable homes fit for the future.
- Build our fair share of housing with the right infrastructure to support and enable our borough to grow.
- Protect our unique places and preserve our natural environment.
- Help with your housing needs and support people to live independently in their own homes.

### Keeping the Borough Moving

- Maintain and improve our roads, footpaths and cycleways.
- Tackle traffic congestion, minimise delays and disruptions.
- Enable safe and sustainable travel around the borough with good transport infrastructure.
- Promote healthy alternative travel options and support our partners to offer affordable, accessible public transport with good network links.

### Changing the Way We Work for You

- Be relentlessly customer focussed.
- Work with our partners to provide efficient, effective, joined up services which are focussed around you.
- Communicate better with you, owning issues, updating on progress and responding appropriately as well as promoting what is happening in our Borough.
- Drive innovative digital ways of working that will connect our communities, businesses and customers to our services in a way that suits their needs.

## MEMBERSHIP OF THE PLANNING COMMITTEE

### Councillors

Chris Bowring (Chairman)	Angus Ross (Vice-Chairman)	Sam Akhtar
Stephen Conway	Gary Cowan	Carl Doran
Pauline Jorgensen	Rebecca Margetts	Andrew Mickleburgh
Rachelle Shepherd-DuBey	Bill Soane	

ITEM NO.	WARD	SUBJECT	PAGE NO.
20.		<b>APOLOGIES</b> To receive any apologies for absence.	
21.		<b>MINUTES OF PREVIOUS MEETING</b> To confirm the Minutes of the Meeting held on 14 July 2021	5 - 12
22.		<b>DECLARATION OF INTEREST</b> To receive any declaration of interest	
23.		<b>APPLICATIONS TO BE DEFERRED AND WITHDRAWN ITEMS</b> To consider any recommendations to defer applications from the schedule and to note any applications that may have been withdrawn.	
24.	Barkham	<b>APPLICATION NO.211024 - LAND AT ARBORFIELD GARRISON PARCEL V1S, NORTH OF NUFFIELD ROAD/LAKESIDE BUS ROUTE, ARBORFIELD</b> <b>Recommendation:</b> Conditional approval	13 - 46
25.	Evendons; Finchampstead North	<b>APPLICATION NO.210179 - SAND MARTINS GOLF CLUB, FINCHAMPSTEAD ROAD, WOKINGHAM</b> <b>Recommendation:</b> Conditional approval subject to legal agreement	47 - 82
26.	Remenham, Wargrave and Ruscombe	<b>APPLICATION NO.211084 - HARE HATCH SHEEPLANDS, LONDON ROAD, HARE HATCH</b> <b>Recommendation:</b> Conditional approval	83 - 108
27.	Remenham, Wargrave and Ruscombe	<b>APPLICATION NO.211085 - HARE HATCH SHEEPLANDS, LONDON ROAD, HARE HATCH</b> <b>Recommendation:</b> Conditional approval	109 - 130
28.	Remenham, Wargrave and Ruscombe	<b>APPLICATION NO.211086 - HARE HATCH SHEEPLANDS, LONDON ROAD, HARE HATCH</b> <b>Recommendation:</b> Conditional approval	131 - 170

- |     |          |  |           |
|-----|----------|--|-----------|
| 29. | Sonning  | <p><b>APPLICATION NO.210693 - READING BLUE COAT SCHOOL, HOLME PARK, SONNING</b></p> <p><b>Recommendation:</b> Conditional approval subject to the approval of planning application 210694 and amendments to conditions relating to application number 170118</p> | 171 - 200 |
| 30. | Emmbrook | <p><b>APPLICATION NO.211754 - 25 CAMELLIA WAY, WOKINGHAM</b></p> <p><b>Recommendation:</b> Conditional approval</p>  | 201 - 216 |

**Any other items which the Chairman decides are urgent**

A Supplementary Agenda will be issued by the Chief Executive if there are any other items to consider under this heading.

**GLOSSARY OF TERMS**

The following abbreviations were used in the above Index and in reports.

<b>C/A</b>	Conditional Approval (grant planning permission)
<b>CIL</b>	Community Infrastructure Levy
<b>R</b>	Refuse (planning permission)
<b>LB</b>	(application for) Listed Building Consent
<b>S106</b>	Section 106 legal agreement between Council and applicant in accordance with the Town and Country Planning Act 1990
<b>F</b>	(application for) Full Planning Permission
<b>MU</b>	Members' Update circulated at the meeting
<b>RM</b>	Reserved Matters not approved when Outline Permission previously granted
<b>VAR</b>	Variation of a condition/conditions attached to a previous approval
<b>PS</b>	Performance Statistic Code for the Planning Application
<b>Category</b>	

**CONTACT OFFICER**

<b>Callum Wernham</b>	Democratic & Electoral Services Specialist
<b>Email</b>	democratic.services@wokingham.gov.uk
<b>Postal Address</b>	Civic Offices, Shute End, Wokingham, RG40 1BN

**MINUTES OF A MEETING OF THE  
PLANNING COMMITTEE  
HELD ON 14 JULY 2021 FROM 7.00 PM TO 9.05 PM**

**Committee Members Present**

Councillors: Chris Bowring (Chairman), Angus Ross (Vice-Chairman), Sam Akhtar, Stephen Conway, Pauline Jorgensen, Rebecca Margetts, Andrew Mickleburgh, Rachelle Shepherd-DuBey and Bill Soane

**Committee Members in Attendance**

Councillors: Gary Cowan

**Councillors Present and Speaking**

Councillors: Prue Bray

**Officers Present**

Connor Corrigan, Service Manager - Planning and Delivery  
Judy Kelly, Highways Development Manager  
Mary Severin, Borough Solicitor  
Justin Turvey, Operational Manager – Development Management  
Callum Wernham, Democratic & Electoral Services Specialist

**Case Officers Present**

Nick Chancellor  
Christopher Howard  
Simon Taylor

**11. APOLOGIES**

An apology for absence was submitted from Carl Doran.

Gary Cowan attended the meeting virtually, and was therefore marked as in attendance, and was not able to propose, second, or vote on items.

**12. MINUTES OF PREVIOUS MEETING**

The Minutes of the meeting of the Committee held on 9 June 2021 were confirmed as a correct record and signed by the Chairman.

**13. DECLARATION OF INTEREST**

There were no declarations of interest.

**14. APPLICATIONS TO BE DEFERRED AND WITHDRAWN ITEMS**

No applications were recommended for deferral, or withdrawn.

**15. APPLICATION NO 210210 LAND TO THE SOUTH OF CUTBUSH LANE,  
SHINFIELD, RG2 9AA**

**Proposal:** Full application for the erection of TV Studio Building including studio space, workshop/storage area and production/office along with parking facilities.

**Applicant:** University of Reading

The Committee considered a report about this application, set out in agenda pages 17 to 74.

The Committee were advised that the supplementary planning agenda included:

- Correction to the site address, to state Land at Thames Valley Science Park, Shinfield, RG2 9LH;
- Addition of CP16 to the list of policies;
- Clarification regarding policy TB13 relating to this application;
- Clarification relating to floor areas;
- Updated condition 3 via insertion of a number of plan numbers;
- Clarification of condition 3 to state that 175 additional car parking spaces would be required for this development;
- Updated wording of condition 14;
- Update to condition 17 to extend delivery hours to 1am.

Mark Owen, on behalf of the applicant, spoke in support of the application. Mark stated that the global market for film and TV production in the UK had grown rapidly, due to a number of factors including digital streaming services and the continued attraction of the UK and its skill base as a location for filming and post-production work. There was a central demand for studio space outside of the M25, which was a key reason why the proposed location at Thames Valley Science Park was suitable. Mark added that the development of the science park was a key driver in improving skills, productivity and competition in a rapidly changing global economy. The proposals would form part of the University's future concept for the Science Park in creating "Innovation Valleys", focussed on film, TV and media. Mark stated that the proposals would create employment opportunities including 95 direct full-time employees, whilst ensuring that student engagement was a priority via close working with the University of Reading's School of Film, Theatre and Television, offering work placements, specialist training and mentoring schemes. Mark added that the design of the building had been carefully considered, and dark metal cladding was proposed to minimise the visual impact of the building. The existing earth bund to the south of the proposed development would assist in reducing the visual impact of the building as viewed from residential dwellings to the south of the Eastern Relief Road. Mark stated that additional screening would be placed on the existing earth bund, secured by condition, to further screen the facility. Mark stated that there was good pedestrian and cycle connectivity to the site, in addition to a frequent bus service. The parking arrangements for the development would utilise the existing Science Park car park in addition to an adjacent car park extension area which had planning consent. Mark concluded by stating that carbon emissions would be reduced by fourteen percent as a result of the proposed development, above the minimum ten percent reduction required by policy, and this was in addition to a biodiversity net gain of twelve percent, including the planting of an area of wildflower grassland.

Rachelle Shepherd-DuBey queried whether apprentices would be available for young people within the Borough. Chris Howard, case officer, confirmed that the applicant would be making a contribution to the Borough employment skills plan, and additional detail would be provided in future.

Andrew Mickleburgh sought assurances as to how far the earth bund would be extended in the south eastern direction, queried whether any other additional planting would occur on the site, queried why there was no landscaping plan attached to the large car parking area, and sought assurances that given the large public audiences that shows could attract – whether the revised 175 spaces was sufficient. Chris Howard stated that the earth bund was in situ on the site and ran to the eastern relief roundabout. Chris added that

officer would seek a contingency sum of S106 contributions to strengthen landscaping on the Hawthorn site. Chris confirmed that officers felt that the nearest residential properties would be sufficiently screened from the proposed buildings. Chris confirmed that the car parking was part of a separately approved reserved matters application, which had a landscaping condition attached. Chris confirmed that Highways officers were satisfied that the proposed 175 spaces were sufficient.

Stephen Conway sought clarification regarding the alternate recommendation, and queried whether public audiences could be accommodated within the proposed 175 spaces. Connor Corrigan, Service Manager - Planning and Delivery, confirmed that the alternative recommendation gave officers authorisation to refuse planning permission without having to come back to Committee in the event that a S106 agreement had not been completed in a timely manner. Relating to audience members and car parking, Chris Howard stated that around 350 to 550 audience members could be expected, with an average of three people per car. Judy Kelly, Highways Development Manager, stated that there was a regular bus service to the site, and an event management plan would be required for major events. Judy added that much of the wider Science Park car park would be vacant in the evening, as office staff would have left for the day.

Pauline Jorgensen queried whether there was additional detail regarding the bus service, and sought clarification relating to the accommodation block as stated on agenda page 17. Judy Kelly stated that there was a public bus service which ran 200m from the site, and the applicant was required to produce an event management plan for major events, which could run a shuttle bus to and from the railway station for example. This plan would be considered by officers, and could be reviewed on an ongoing basis. Chris Howard confirmed that the accommodation block referred to the area for the dressing rooms, behind the scenes, and public holding areas.

Angus Ross commented on his surprise that the car parking was taking up so much space, rather than being of a two-storey nature. Angus queried whether amended condition 14 should be reworded, to state that agreement of the local Planning Authority was required. Connor Corrigan stated that the condition could be reworded as follows "No recording or filming activity shall take place between the hours of 23:00 and 07:00 Mondays to Sundays, unless otherwise agreed in writing with the Local planning Authority." Angus Ross proposed this new wording, which was seconded by Chris Bowring, and subsequently agreed by the Committee.

Sam Akhtar queried how many freelancers and contractors may work on site, and how many electric vehicle charging points would be provided. Chris Howard stated that officers had no control over the configuration of staff on site. In relation to electric vehicle charging points, the car park was approved in 2016 and therefore associated conditions could not be revisited at this stage.

Gary Cowan was of the opinion that in a climate emergency, every effort should be made to have electric vehicle charging points for all relevant planning applications. Judy Kelly stated that that electric vehicle charging would be available to the north of the car park, and the travel plan for the site committed to additional electric vehicle charging points as and when demand rose.

Rachelle Shepherd-DuBey queried whether the electric car charging infrastructure would be developed, to allow easy expansion in the future. Connor Corrigan confirmed that part

of the car park was already in existence, and the extended area of the car park would allow the infrastructure to be placed underground as the car park was developed.

**RESOLVED** That application number 210210 be approved, subject to conditions and informatives as set out in agenda pages 19 to 25, amended conditions 3 and 17 as set out in the supplementary planning agenda, and amended condition 14 as resolved by the Committee.

**16. APPLICATION NO 203616 HOGWOOD FARM SHEERLANDS ROAD  
ARBORFIELD**

**Proposal:** Application for approval of Reserved Matters pursuant to Outline Planning Consent O/2014/2179 (as varied by 181194, dated 14/11/2018). The Reserved Matters comprise details of 235 dwellings across parcels P2, P3 & P7 with access via development parcel P1 and the proposed Nine Mile Ride Extension bus loop; emergency access via Sheerlands Road, associated internal access roads, parking, provision of Public Open Space (PG1), children's play areas including a LEAP, LAP and LLAP and NEAP, together with parking, cycleways, footpaths, landscaping and sustainable urban drainage systems (SuDS). Details of access, appearance, landscaping, layout and scale to be considered

**Applicant:** Legal and General Homes Communities (Arborfield) Limited

The Committee considered a report about this application, set out in agenda pages 75 to 120.

The Committee were advised that there were no updates within the supplementary planning agenda.

Laura Powell, on behalf of the applicant, spoke in support of the application. Laura stated that the Hogwood Farm site was granted outline planning permission in 2017 for a mixed-use development including 1500 new homes and formed a part of the wider Arborfield Garrison SDL. Laura added that the first phase of this development included 178 new homes, of which approximately 90 were now occupied. Laura stated that the southern section of the Nine Mile Ride extension had also been approved in early 2020, with delivery expected next year. Laura added that the application before the Committee comprised the next residential phase of the development, comprising three development parcels which would lie immediately next to the south of Phase 1. Part of this application included proposals for a large area of open space, which would provide a green connection through the development to the SANG at the south of the site. Laura added that this would incorporate the wider bridleway network, as well as children's play areas and a trim trail exercise area. Laura stated that the application would deliver 235 high quality homes, ranging from 1 bedroom apartments to 4 bedroom houses, including provision of 82 affordable homes which was policy compliant. Laura added that the applicant had worked hard with officers to ensure that the proposals were both policy compliant and respected the character of the surrounding area. The proposals met Wokingham Borough Council's (WBC's) parking standards, and would achieve a ten percent reduction in carbon emissions, in part via the installation of photovoltaic panels and use of fabric first. Laura concluded by stating that the proposals would include the planting of 443 new trees across the residential area, and cited that no objections had been received from the public or stakeholders.



Angus Ross queried whether the payment for the SANG had been received and finalised. Nick Chancellor, case officer, confirmed that this had been agreed at the outline stage, and the SANG was now open.

Stephen Conway voiced his approval for on-site provision of 35 percent affordable housing. The remaining Committee members concurred with this sentiment.

Andrew Mickleburgh queried whether parking standards would be met if garages were not used within the calculation, queried whether garages could be converted to other uses, sought details on the number of homes being fitted with photovoltaic panels, and queried whether it could be assured that upgrade works to the water and sewerage networks would be completed by Thames Water prior to occupation. Judy Kelly, Highways Development Manager, stated that if garages were disregarded then there would still be provision for two parking spaces per property across the site. Judy added that the garages could not be converted without prior planning permission approval. Nick Chancellor stated that the site would reduce carbon emissions by a figure of 10 percent by a variety of means including photovoltaic panel provision, however he did not have the precise figures regarding photovoltaic panels to hand. Regarding the sewerage network, Nick stated that outline works were to be in place prior to the occupation of the 200<sup>th</sup> property. The first phase of the development included just over 200 properties, and Thames Water were working closely with the community and WBC to ensure that there were no issues.

Rachelle Shepherd-DuBey commented that in her experience, only a very small number of residents used the garage for parking. Rachelle queried whether the visitor spaces would be situated on the site, queried whether electric vehicle charging infrastructure would be installed prior to occupation, and queried whether gas appliances should be being installed in a climate emergency. Judy Kelly stated that research had been carried out which showed that 50 percent of residents used their garages for parking. Judy added that there were 85 unallocated spaces spread around the site, and officers were awaiting more detail regarding the proposed electric vehicle strategy for the site. Connor Corrigan, Service Manager – Planning and Delivery, stated that officers were applying existing policy in relation to the climate agenda. Connor added that building regulations would change in time to restrict gas boilers at new developments.

Gary Cowan commented that Legal and General had been very good locally, and had worked with the community on improvements. Gary asked that traffic calming be explored for the sake of residents in the local area.

Pauline Jorgensen queried whether the estate roads would be built to an adoptable standard. Judy Kelly confirmed that the roads would be built to an adoptable standard via a highways construction condition, and the applicant was likely to offer the roads for adoption in the future.

**RESOLVED** That application number 203616 be approved, subject to conditions and informatives as set out in agenda pages 76 to 84.

#### **17. APPLICATION NO 211045 136 CLIFTON ROAD, WOKINGHAM**

**Proposal:** Householder application for the proposed conversion of existing garage to provide habitable accommodation to facilitate use of the property as supported living with a live-in member of staff, including internal alterations and installation of 1 no. Air Source Heat Pump to the side of the property.

**Applicant:** Wokingham Borough Council

The Committee considered a report about this application, set out in agenda pages 121 to 140.

The Committee were advised that the supplementary planning agenda included an update relating to the ground source heat pump included within the planning application.

**RESOLVED** That application number 211045 be approved, subject to conditions and informatives as set out in agenda pages 121 to 123.

**18. APPLICATION NO 211634 HATCH GATE FARM, LINES ROAD, HURST**

**Proposal:** Full application for the proposed erection of an agricultural building

**Applicant:** Belcher Farms

The Committee considered a report about this application, set out in agenda pages 141 to 158.

The Committee were advised that paragraph 23 on page 149 of the agenda should refer to further evaluation, rather than elevation.

Gary Cowan queried why this application could not be carried out under permitted development. Simon Taylor, case officer, stated that this was classified as a major development due to the red line area and the floor space of the proposal.

Stephen Conway queried whether this application could set a precedent for other built forms on the site, should the barn no longer be needed. Simon Taylor stated that this application had a demonstrable need for agricultural purposes, and unless a future application was for a different agricultural building then it was unlikely that a different type of built form would be approved, although any future application would have to be considered on its own merits.

**RESOLVED** That application number 211634 be approved, subject to conditions and informatives as set out in agenda pages 142 to 144.

**19. APPLICATION NO 211398 FORMER SHOWCASE CINEMA CAR PARK/PARK & RIDE SITE, LODDON BRIDGE AND THE BADER WAY INTERCHANGE, WINNERSH**

**Proposal:** Full application for the proposed change of use of the former car park to the storage of materials, shoring and temporary works equipment and vehicles associated with civil engineering business (Use Class B8), including welfare unit, gates, and fencing

**Applicant:** Hochsoll Properties Ltd

The Committee considered a report about this application, set out in agenda pages 159 to 186.

The Committee were advised that there were no updates within the supplementary planning agenda.

Christian Leigh, agent, spoke in support of the application. Christian stated that there had been a productive pre-application process between the applicant and Wokingham Borough Council (WBC) officers. Christian added that the site was woefully unused, and that the use cases of the site were restricted due to the potential for flooding on the associated land. Christian stated that this application would provide a much needed viable use for the site, which would provide employment within the local area. Christian stated that the application would provide additional planting and secure fencing.

Prue Bray, Ward Member, commented on the application. Prue stated that the site flooded, however this did not preclude use of the site for storage purposes. Prue stated that one such flooding incident in 2007 was catastrophic, and caused a number of vehicles to be written off despite the flood warning system being in operation, as car had become marooned within the car park and could not reach the exit roads. Prue commented that she would hate to see this happen again, and asked that an informative be added to make the applicant aware that flood water had the potential to block the exit roads from the site.

Bill Soane commented that reference within the report to Colemans Moor Lane should have referred to Colemans Moor Road. Bill stated that he had spoken to local residents, who were mostly now content with the proposals. A few queries remained, including whether there would be any temporary tower lighting, whether there was potential for any harmful chemicals to spill into the Loddon in the event of a flood, and whether the opening hours could begin at 8am rather than 7am. Bill commented that the site flooded more frequently than every five years, and queried whether vehicles could not enter the site out of hours. Simon Taylor, case officer, clarified that tower lighting would not be allowed under conditions. Simon added that he would envisage that the vehicles would fill up with fuel off-site, meaning that no fuel would be stored at the site. Simon clarified that the 7am opening time was fairly typical for this use type as it builders required access to the materials early in the day to allow for an early start on building sites. Simon confirmed that no vehicles could access the site out of the prescribed 7am to 7pm hours.

Rachelle Shepherd-DuBey commented that the site could get very damp and wet, and advised that the applicant should park vehicles carefully to accommodate for this. Rachelle added that this was a good use for the site in her opinion, so long as harmful chemicals were not stored on-site.

Andrew Mickleburgh queried how many entry and exit points were on the site and whether these allowed for a safe evacuation should there be a sudden and severe flood, queried whether a condition could be added to require an evacuation plan to be created to minimise risks of flooding damage, and queried whether the proposals could increase flooding risks to nearby residential properties. Simon Taylor stated that the flood risk assessment had discussed the associated risks on the site, and the applicant was planning to store a lot of expensive equipment on site and it was therefore in their own interest to be aware of the risk of flooding. There were no changes to the existing ground on the site, and the site was to remain open for water to pass through the fences in the event of flooding. Simon stated that an evacuation plan would not provide any additional securities for WBC, and it was in the applicants own best interest to have plans in place to ensure their equipment was not damaged by flooding.

Andrew Mickleburgh queried why informatives 1 and 2 could not be secured conditions, queried whether the speed limits on Bader Way in relation to the two nearby roundabouts caused any safety concerns. Justin Turvey, Operational Manager – Development Management, stated that should planning permission be granted for this application, this

did not give any rights to the applicant to use the public right of way areas for storage, which was why only informatives were required in this instance. Judy Kelly, Highways Development Manager, stated that Highways officers were happy with the proposals. The existing speed limit was 40MPH, and the site had existing access established. Judy added that vehicles would turn left in to the site and left out of the site, pulling vehicles off of the main stream of traffic onto a separate lane prior to reaching the site. Judy stated that the site had previously been used as a park and ride site, with buses regularly entering and exiting the site safely.

Angus Ross was of the opinion that this site was unsafe to be used, due to the site being within flood zone three. Angus stated his surprise that the Environment Agency had not objected to this application on safety grounds. Angus added that he was concerned that the river Loddon could become contaminated by the vehicles and other materials being stored on the site in the event of a flood, and stated that he could not support this application.

Gary Cowan was of the opinion that no materials should be stored on site which could contaminate the Loddon in the event of a flood. Gary queried the level of tree removal on the site. Simon Taylor stated that condition 9 could be strengthened to state specifically what could be stored on site. Relating to trees, Simon stated that tree removal would be minimal on site.

Sam Akhtar raised concerns relating to part of the site being in flood zone three, and the risk of pollutants such as red diesel being released into the river in the event of a flood. Sam added that he could not support the application on this basis.

Pauline Jorgensen queried whether the route of the nearby cycleway would be appropriate and not place between fences, and queried whether the on-ramp was being re-opened. Simon Taylor stated that the public right of way was outside of the red line boundary for this site, however the applicant was fully open to working with WBC officers in relation to the public right of way in the future. Judy Kelly confirmed that the existing access was deemed acceptable by officers, and there were no plans to re-open the on-ramp

Stephen Conway proposed a new condition, which stipulated what could be stored on-site, to be agreed in consultation with the Chairman and the local Ward Members. This proposal was seconded by Chris Bowring, carried, and added to the list of conditions.

Andrew Mickleburgh proposed a new condition, obliging the application to develop an evacuation strategy for the site, to safeguard employees and visitors to the site amongst others. This proposal was seconded by Rachelle Shepherd-DuBey, carried, and added to the list of conditions.

Rachelle Shepherd-DuBey commented that vehicles did drive at speed in that area, and that there was an additional exit into the adjacent cinema car park.

**RESOLVED** That application number 211398 be approved, subject to conditions and informatives as set out in agenda pages 160 to 164, additional condition stating specifically what could be stored on-site as resolved by the Committee, and additional condition requiring creation of an evacuation strategy for the site as resolved by the Committee.

# Agenda Item 24.

Application Number	Expiry Date	Parish	Ward
211024	13/08/2021 (PPA)	Barkham	Barkham;

<b>Applicant</b>	Bloor Homes Ltd
<b>Site Address</b>	Land at Arborfield Garrison Parcel V1S, north of Nuffield Road/Lakeside Bus Route.
<b>Proposal</b>	Application for approval of Reserved Matters pursuant to Outline Planning Consent O/2014/2280 dated 02/04/2015. The Reserved Matters (access, appearance, landscaping, layout and scale) comprise details of 126 dwellings within parcel V1S with access via the Lakeside Bus Loop, associated internal access roads, parking, landscaping, open space, footpaths and drainage.
<b>Type</b>	Reserved Matters
<b>Officer</b>	Nick Chancellor
<b>Reason for determination by committee</b>	Major application

<b>FOR CONSIDERATION BY</b>	Planning Committee on Wednesday, 11 August 2021
<b>REPORT PREPARED BY</b>	Assistant Director – Place

<b>SUMMARY</b>
<p>This application relates to a 3.62ha parcel of land within the Arborfield Garrison Strategic Development Location, north of Nuffield Road and north-west of Waterman's Lake. The principle of development has been established through allocation within the Core Strategy (policy CP18) and the Spatial Framework Plan within the Arborfield Garrison SPD. Outline planning consent O/2014/2180 granted approval for up to 2,000 new dwellings in association with a district centre, neighbourhood centre, secondary school, primary school and two Suitable Alternative Natural Greenspace (SANG) areas.</p> <p>The overarching vision of the Arborfield SDL is to provide a co-ordinated approach to the delivery of infrastructure and services; ensuring that developments are of a high quality and sustainable, developed in accordance with Garden City principles. The outline planning permission has established parameters for the layout, scale, appearance and landscaping of the development, details of which were reserved for later determination. Reserved Matters have been approved for various development phases across the outline site, including parcel U1/V2E + U2 to the south and west of the site (nearing completion), and parcel O1 to the south-east beyond Waterman's Lake (complete and fully occupied).</p> <p>The current application seeks approval for the detail (layout, scale, appearance, landscaping) of a further 126 dwellings within the southern portion of parcel "V1" – referred to herein as Parcel "V1S". The proposal is considered to provide a high level of amenity for the future occupants and meets the council's standards for internal and external space and parking. In design terms the proposal builds on the area design codes and emerging character established through neighbouring development phases. Impacts on the highway network, flood risk, localised ecology and Thames Basin Heaths Special Protection Area are mitigated. Given the location of the site, any impact on neighbouring residential amenities would be minimal and can be mitigated through a Construction Environment Management Plan.</p>

The proposal is considered to constitute high quality development in accordance with the vision for the SDL; it is therefore recommended that Reserved Matters are approved subject to conditions outlined below.

## PLANNING STATUS

- Strategic Development Location (SDL) – Arborfield Garrison
- Modest Development Location
- Thames Basin Heaths Special Protection Area 5km – 7km Zone
- Farnborough Aerodrome Safeguarding Consultation Zone
- Potentially Contaminated Land
- Tree Preservation Orders Served in vicinity
- Bat roosts

## RECOMMENDATION

**That the committee authorise the APPROVAL OF RESERVED MATTERS subject to the following conditions and informatives:**

### CONDITIONS

1. Nothing herein contained shall be deemed to affect or vary the conditions imposed by planning permission O/2014/2280 dated 02/04/2015 which conditions shall remain in full force and effect save in so far as they are expressly affected or varied by this permission.

*Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.*

Approved plans

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

PL-01 (Site Location Plan)  
PL-02a (Site Context Plan)  
PL-03h (Planning Layout)  
PL-03h (Planning Layout) (Colour)  
PL-05d (External Works Layout)  
PL-08d (Affordable Housing Layout)  
HT-SAN-01 – Housetype Planning Drawing Sansom  
HT-SUTH-01 – Housetype Planning Drawing Sutherland  
HT-SUTH-02 – Housetype Planning Drawing Sutherland  
HT-SUTH-03 – Housetype Planning Drawing Sutherland  
HT-ATTER-01A – Housetype Planning Drawing Atterbury  
HT-BUT-01 – Housetype Planning Drawing Butler  
HT-BUT-02 – Housetype Planning Drawing Butler  
HT-BUT-03 – Housetype Planning Drawing Butler  
HT-BUXTON-01A – Housetype Planning Drawing Buxton  
HT-BUX+DEK-01A – Housetype Planning Drawing Buxton and Dekker  
HT-BUX+DEK-02 – Housetype Planning Drawing Buxton and Dekker  
HT-DEKKER-01 – Housetype Planning Drawing Dekker  
HT-DEKKER-02 – Housetype Planning Drawing Dekker  
HT-DEKKER-03 – Housetype Planning Drawing Dekker  
HT-LAW+BUX-01A – Housetype Planning Drawing Lawrence and Buxton  
HT-LAW-01A – Housetype Planning Drawing Lawrence

HT-LAW-02B – Housetype Planning Drawing Lawrence  
HT-HAW-01 – Housetype Planning Drawing Hawkins  
HT-HAW-02A – Housetype Planning Drawing Hawkins  
HT-HAW-03 – Housetype Planning Drawing Hawkins  
HT-HUL-01B – Housetype Planning Drawing Hulford  
HT-HUL-02A – Housetype Planning Drawing Hulford  
HT-HUL-03B – Housetype Planning Drawing Hulford  
HT-HUL-04B – Housetype Planning Drawing Hulford  
HT-HUX-01B – Housetype Planning Drawing Huxley  
HT-HUX-02A – Housetype Planning Drawing Huxley  
HT-GWYN-01 – Housetype Planning Drawing Gwyn  
HT-GWYN-02A – Housetype Planning Drawing Gwyn  
HT-GWYN-03 – Housetype Planning Drawing Gwyn  
HT-MUS-01 – Housetype Planning Drawing Musgrave  
HT-MUS-02 – Housetype Planning Drawing Musgrave  
HT-WAR-01A – Housetype Planning Drawing Warton  
HT-WAR-02A – Housetype Planning Drawing Warton  
HT-WAR-03A – Housetype Planning Drawing Warton  
HT-WAR-04 – Housetype Planning Drawing Warton  
HT-WYN-01B – Housetype Planning Drawing Wynyard  
HT-WYN-02A – Housetype Planning Drawing Wynyard  
DET-01 (External Works Details)  
GAR-01 (Garage Planning Drawing Single / Double Shared)  
STR-01a (Bin and Cycle Store)

*Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.*

#### Visibility splay provision

3. No dwelling within the development phase shall be occupied until plans demonstrating visibility splays of 2.0 metres by 2.0 metres have been provided at the intersection of the driveway and the adjacent footway. (Dimensions to be measured along the edge of the drive and the back of the footway from their point of intersection). Visibility splays shall be demonstrated on plans indicating hard and soft landscaping details within the vicinity of each driveway. Visibility splays shall hereafter be kept free of all obstructions to visibility above a height of 0.6 metres.

*Reason: In the interests of highway safety and convenience. Relevant policy: Core Strategy policies CP3 & CP6.*

#### Parking Management Strategy

4. Prior to the first occupation of the development, a Parking Management Strategy for the management of the parking arrangements shall be submitted to and approved in writing by the local planning authority. The submitted Parking Management Strategy shall include details of the management of all parking spaces and the monitoring and the delivery (or conversion) of additional 'active' electric vehicle charging spaces when required.

*Reason: To ensure satisfactory development in the interests of amenity and highway safety in accordance with Wokingham Borough Core Strategy Policies CP1, CP6, CP13 and CP21 and MDDLDP policies CC07 and TB20.*

#### Electric Vehicle Charging

5. Prior to commencement of development, details for Electric Vehicle Charging points serving the development shall be submitted to and approved in writing by the Local Planning Authority. The Electric Vehicle Charging points shall be implemented in accordance with such details as may be approved before occupation of the development

hereby permitted, and shall be permanently retained in the approved form for the charging of electric vehicles and used for no other purpose.

*Reason: In order to ensure that secure electric vehicle charging facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.*

Landscape management

6. Prior to the commencement of the development a landscape management plan, including long term design objectives, management responsibilities, timescales and maintenance schedules for all landscape areas, other than privately owned, domestic gardens, shall be submitted to and approved in writing by the local planning authority. The landscape management plan shall be carried out as approved.

*Reason: In order to ensure that provision is made to allow satisfactory maintenance of the landscaping hereby approved. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.*

## **INFORMATIVES**

1. The development accords with the policies contained within the adopted development plan and there are no material considerations which warrant a different decision being taken.

2. This permission should be read in conjunction with the legal agreements under Section 106 of the Town and Country Planning Act that relates to the site, the contents of which are relevant to the development.

3. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of: (e.g.):

- a pre-application process was undertaken by the applicant;
- addressing concerns relating to highway design and the site layout;

The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

4. Any works/ events carried out by or on behalf of the developer affecting either a public highway or a prospectively maintainable highway (as defined under s.87 New Roads and Street Works Act 1991 (NRSWA)), shall be co-ordinated and licensed as required under NRSWA and the Traffic Management Act 2004 in order to minimise disruption to both pedestrian and vehicular users of the highway.

Any such works or events, and particularly those involving the connection of any utility to the site must be co-ordinated by the developer in liaison with the Borough's Street Works team (0118 974 6302). This must take place AT LEAST three months in advance of the intended works to ensure effective co-ordination with other works so as to minimise disruption.



5. Adequate precautions shall be taken during the construction period to prevent the deposit of mud and similar debris on adjacent highways. For further information contact Corporate Head of Environment on tel: 0118 974 6302.

6. Any works/events carried out either by, or at the behest of, the developer, whether they are located on, or affecting a prospectively maintainable highway, as defined under Section 87 of the New Roads and Street Works Act 1991, or on or affecting the public highway, shall be coordinated under the requirements of the New Roads and Street Works Act 1991 and the Traffic management Act 2004 and licensed accordingly in order to secure the expeditious movement of traffic by minimising disruption to users of the highway network in Wokingham.

7. If it is the developer's intention to request the Council, as local highway authority, to adopt the proposed access roads etc. as highway maintainable at public expense, then full engineering details must be agreed with the Corporate Head of Environment at the Council Offices, Shute End, Wokingham. The developer is strongly advised not to commence development until such details have been approved in writing and a legal agreement is made with the Council under S38 of the Highways Act 1980.

8. Any works/events carried out either by, or at the behest of, the developer, whether they are located on, or affecting a prospectively maintainable highway, as defined under Section 87 of the New Roads and Street Works Act 1991, or on or affecting the public highway, shall be coordinated under the requirements of the New Roads and Street Works Act 1991 and the Traffic management Act 2004 and licensed accordingly in order to secure the expeditious movement of traffic by minimising disruption to users of the highway network in Wokingham.

9. Any such works or events commissioned by the developer and particularly those involving the connection of any utility to the site, shall be co-ordinated by them in liaison with Wokingham Borough Council's Street Works Team, (telephone 01189 746302). This must take place at least three month in advance of the works and particularly to ensure that statutory undertaker connections/supplies to the site are coordinated to take place wherever possible at the same time.

10. Licences, consents or permits may be required for work on this site. For further information on environmental permits and other licences please visit <http://www.businesslink.gov.uk/bdotg/action/layer?r.s=tl&r.lc=en&topicId=1079068363>

11. The applicant is advised that the Council seeks that employers or developers within the borough commit to using local labour / contractors where possible. This should include:

- Advertisement of jobs within local recruitment agencies / job centres;
- Recruitment and training of residents from the local area;
- Seek tender of local suppliers or contractors for work.

12. The attention of the applicant is drawn to the requirements of Section 60 of the Control of Pollution Act 1974 in respect of the minimisation of noise on construction and demolition sites. Application, under Section 61 of the Act, for prior consent to the works, can be made to the Environmental Health and Licensing Manager.

Western corridor landscaping

13. In respect to the green corridor to the immediate west of the Reserved Matters application site, the LPA acknowledges the applicant has been liaising with the landowners agent in order to secure a pedestrian/cycle link to parcel V1S. It is the expectation of the LPA that both parties will continue to work together to deliver this connection and that such details will be incorporated within future applications to discharge relevant planning conditions.

#### Street lighting

14. The applicant is informed that details of street lighting to be approved under highways technical details (outline planning condition 26) will be required to demonstrate compatibility with the landscaping scheme to be approved under outline planning condition 14. Particular care should be taken to ensure that street lighting does not conflict with trees to be planted within services margins or highway verges. Such plans shall demonstrate street lighting within service margins.

<b>RELEVANT PLANNING HISTORY</b>		
<b>Application Number</b>	<b>Proposal</b>	<b>Decision</b>
SO/2010/0611	EIA scoping opinion	Replied 13/04/2010
O/2013/0600	Outline application for 2000 dwellings and supporting infrastructure.	Withdrawn 15/11/2013
O/2014/2280	<p>OUTLINE PLANNING PERMISSION FOR: Demolition of buildings and phased redevelopment of Arborfield Garrison and adjoining land for: Up to 2,000 new dwellings (including up to 80 units of extra care housing). District centre comprising a foodstore up to 4,000 sqm gross with up to a further 3,500 sqm (gross) floor space within Classes A1, A2, A3, A4, A5, B1, D1 and D2 (with residential above - Class C3)), and transport interchange, village square, car parking, servicing and drop off area. Up to a further 1,500 sqm (gross) floor space within Classes D1 and D2. Neighbourhood centre to provide up to 300 sqm (gross) floor space within Classes A1, A2, A3, A4, A5, B1, D1 and D2, with parking/servicing area. Secondary school for up to 1,500 pupils (Class D1) including sports pitches, flood-lit all-weather pitch, and indoor swimming pool and parking areas. Up to three-form primary school (Class D1) with sports pitch and parking areas. Associated phased provision of: car parking; public open space including sports pitches, informal/incidental open space, children's play areas including multi-use games area (MUGA), skate park, community gardens/allotments; landscaping/buffer areas; boundary treatments; new roads, footpaths, cycleways and bridleways; sustainable urban drainage systems, including flood alleviation works.</p> <p>PART 2 - FULL PERMISSION FOR phased development of: Creation of two new areas of Suitable Alternative Natural Greenspace (SANGS) (In the north-eastern part of the</p>	Approved 02/04/2015

	application site ("Northern SANGS") and at West Court ("West Court SANGS") including car parking areas, path/walkways, fencing and associated landscaping; re-use of existing MoD gymnasium for sports/community uses/centre (Classes D1/D2; new roundabout junction to A327 Reading Road; junction improvements to Langley Common Road, Baird Road and Biggs Lane; junction improvements and new access at Biggs Lane/Princess Marina Drive; re-use and improvements to existing site accesses from Biggs Lane.	
181443	Application for a non-material amendment to planning consent O/2014/2280 to allow amendment to green corridor adjacent to Lakeside Bus Route.  <i>[NON-MATERIAL AMENDMENT TO BE READ IN CONJUNCTION WITH OUTLINE PLANNING PERMISSION O/2014/2280 AS ABOVE]</i>	Approved 26/06/2018
162428	Application for prior notification of proposed demolition at the former Hazebroucks Barracks at Arborfield Garrison.	Approved 27/09/2016
162881	Full application for temporary planning permission for the use of land for filming, incorporating temporary change of use of existing former barracks buildings from Use Class Sui Generis to Use Class B1 (Film Studio), and the use of the site and hard standing for parking and storage, with associated access.	Approved 02/02/2017.  Note: The planning permission allows use of the buildings as film studios for a temporary period of nine years.
182364	Application for approval of reserved matters pursuant to outline planning consent O/2014/2280 for the construction of an access road (Lakeside bus route) and associated infrastructure including a substation, drainage and ponds, earthworks, fencing and landscaping.  <i>[LAKESIDE BUS ROUTE – PROVIDES PRINCIPAL ACCESS TO PARCEL V1S]</i>	Approved 20/12/2018
182410	Application for approval of reserved matters pursuant to outline planning consent O/2014/2280 for the construction of 110 dwellings and commercial floor space, with associated access roads, parking, landscaping and open space, footpaths/ cycleways and Sustainable urban drainage (Parcels U1/V2).  <i>[PARCEL U1/V2S – TO THE IMMEDIATE WEST OF THE APPLICATION SITE].</i>	Approved 09/01/2019
190737	Application for approval of reserved matters pursuant to outline planning consent O/2014/2280 for the construction of 111 dwellings and commercial floorspace(Use Classes A1/A2/D1/D2)to form a neighbourhood Centre, with access from Biggs Lane and Parcel U2, with associated internal access roads, parking, landscaping	Approved 29/04/2019

	and open space, footpaths/ cycleways, and Sustainable Urban Drainage (SuDS.)  <i>[PARCEL U1/V2S – TO THE IMMEDIATE WEST AND SOUTH OF THE APPLICATION SITE. SUPERSEDES 182410 ABOVE].</i>	
203254	Application for approval of reserved matters pursuant to outline planning consent O/2014/2280 for the construction of 35 dwellings with access from Lakeside Bus Route (LSBR) (Biggs Lane), with associated internal access roads, parking, landscaping and open space, footpaths/cycleways, and Sustainable Urban Drainage (SuDS). Details of access, appearance, landscaping, layout and scale to be determined.  <i>[OFFICER NOTE: PARCEL V2S – TO THE IMMEDIATE WEST OF THE CURRENT APPLICATION SITE; REPLAN OF 190737 FOR PAREL V2E ONLY].</i>	Approved 12/03/2021

<b>SUMMARY INFORMATION</b>	
<b>For Residential</b>	
Site Area	3.62ha
Existing units	0
Proposed units	126
Existing density – dwellings/hectare	n/a
Proposed density - dwellings/hectare	35/ha
Number of affordable units proposed	25 (20% on site, in accordance with the s106 / affordable housing scheme. A financial contribution equivalent to a further 15% will be provided as a commuted sum and which secures off site affordable provision).
Previous land use	Ministry of Defence Garrison
Proposed Public Open Space	0.13ha (a further 0.66ha available on land immediately adjacent to site boundary (south and west)
Existing parking spaces	n/a
Proposed parking spaces	289 (228 allocated, 18 unallocated, 25 visitor, 36 garage – garages counted as 0.5 space), corresponding to average provision of 2.29 spaces per dwelling across the site.

<b>CONSULTATION RESPONSES</b>	
Berkshire Archaeology	No objection
Berks, Bucks and Oxon Wildlife Trust	No comments received
Crime Prevention Design Officer	No comments received
Royal Berkshire Fire and Rescue	No comments received
Southern Gas Networks	No objection
SEE Power Distribution	No objection
Thames Water	No objection

WBC Biodiversity	No comments received
WBC Drainage	No objection
WBC Environmental Health	No objection
WBC Highways	No objection subject to conditions
WBC Tree & Landscape	No objection subject to conditions
WBC Cleaner & Greener (Waste Services)	No comments received [ <i>OFFICER NOTE: vehicle tracking demonstrates that a refuse vehicle can access the site.</i> ]
WBC Property Services	No comments received
WBC Public Rights of Way	No comments received

## REPRESENTATIONS

### Barkham Parish Council:

*“Barkham Parish Council have no comments on this application”*

**Local Members:** No comments received

**Neighbours:** One letter seeking clarification; no (zero) objections received

PLANNING POLICY		
National Policy	<b>NPPF</b>	National Planning Policy Framework
	<b>NPPG</b>	National Planning Practice Guidance
	<b>NDG</b>	National Design Guide
Adopted Core Strategy DPD 2010	<b>CP1</b>	Sustainable Development
	<b>CP2</b>	Inclusive Communities
	<b>CP3</b>	General Principles for Development
	<b>CP4</b>	Infrastructure Requirements
	<b>CP5</b>	Housing mix, density and affordability
	<b>CP6</b>	Managing Travel Demand
	<b>CP7</b>	Biodiversity
	<b>CP8</b>	Thames Basin Heaths Special Protection Area
	<b>CP9</b>	Scale and Location of Development Proposals
	<b>CP10</b>	Improvements to the Strategic Transport Network
	<b>CP11</b>	Proposals outside development limits (including countryside)
	<b>CP12</b>	Green Belt
	<b>CP13</b>	Town Centres and Shopping
	<b>CP14</b>	Growth and Renaissance of Wokingham Town Centre
	<b>CP15</b>	Employment Development

	<b>CP18</b>	Arborfield Garrison Strategic Development Location
Adopted Managing Development Delivery Local Plan 2014	<b>CC01</b>	Presumption in Favour of Sustainable Development
	<b>CC02</b>	Development Limits
	<b>CC03</b>	Green Infrastructure, Trees and Landscaping
	<b>CC04</b>	Sustainable Design and Construction
	<b>CC05</b>	Renewable energy and decentralised energy networks
	<b>CC06</b>	Noise
	<b>CC07</b>	Parking
	<b>CC08</b>	Safeguarding alignments of the Strategic Transport Network & Road Infrastructure
	<b>CC09</b>	Development and Flood Risk (from all sources)
	<b>CC10</b>	Sustainable Drainage
	<b>TB01</b>	Development within the Green Belt
	<b>TB05</b>	Housing Mix
	<b>TB06</b>	Development of private residential gardens
	<b>TB07</b>	Internal Space standards
	<b>TB11</b>	Core Employment Areas
	<b>TB12</b>	Employment Skills Plan
	<b>TB15</b>	Major Town, and Small Town/District Centre Development
	<b>TB16</b>	Development for Town Centre Uses
	<b>TB17</b>	Local Centres and Neighbourhood and Village Shops
	<b>TB20</b>	Service Arrangements and Deliveries for Employment and Retail Use
	<b>TB21</b>	Landscape Character
	<b>TB23</b>	Biodiversity and Development
	<b>TB24</b>	Designated Heritage Assets
Supplementary Planning Documents (SPD) / other		Borough Design Guide – Section 4
		Arborfield Garrison Strategic Development Location Supplementary Planning Document (October 2011)
		Infrastructure Delivery and Contributions Supplementary Planning Document (October 2011)

		Wokingham Borough Design Guide Supplementary Planning Document (2012)
		Wokingham Borough Affordable Housing Supplementary Planning Document (July 2013)
		Arborfield and Barkham Neighbourhood Plan (2020)
		Technical housing standards – nationally described space standard (March 2015)

<b>PLANNING ISSUES</b>
------------------------

**Principle of Development and Infrastructure Delivery:**

1. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan (MDD) Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise. The application site forms part of a larger area designated under the Wokingham Borough Core Strategy as the Arborfield Garrison Strategic Development Location (SDL).
2. Wokingham Borough Core Strategy policy CP17 establishes a requirement to provide at least 13,487 new dwellings with associated development and infrastructure in the period 2006-2026. The majority of this new residential development will be in four SDLs, of which Arborfield Garrison is one. Policy CP18 identifies that the Arborfield Garrison SDL will deliver a sustainable, well-designed mixed-use development of around 3,500 dwellings and associated infrastructure.
3. Core Strategy Policy CP18 is amplified by Appendix 7 of the Core Strategy, the Arborfield Garrison Strategic Development Location Supplementary Planning Document (SPD) and Infrastructure Delivery and Contributions SPD, which address the associated infrastructure impacts across the whole borough. These documents establish a requirement for a sustainable, well designed, mixed use development and make clear that a co-ordinated approach to the development of the SDL will be required to deliver the necessary infrastructure, facilities and services to meet the needs of the expanded community.
4. Outline planning permission for the site was granted by Wokingham Borough Council on 02/04/2015. This established the principle for development for the site together with access for up to 2,000 new dwellings, district centre, neighbourhood centre, secondary school, primary school and two Suitable Alternative Natural Greenspace (SANGS). These were considered against the relevant Core Strategy policies and Local Plan policies.

The details approved under the outline planning permission established parameters for the development including general site layout including the quantum of development, principal access, indicative location of housing, open space, density and building heights. It also secured an Infrastructure Delivery Plan and s106 legal agreement for the coordinated delivery of the infrastructure necessary to support the development and fair share of the SDL wide infrastructure. This included contributions towards off-site infrastructure and services such as roads, education, sports facilities, community facilities and green infrastructure. An affordable housing contribution was also secured in accordance with the Core Strategy and Infrastructure Delivery and Contributions Supplementary Planning Document.

### **Description of Development:**

5. In accordance with the Outline planning permission, the current application seeks Reserved Matters approval for access, appearance, layout, landscaping and scale in relation to 126 dwellings within parcel V1S. The application proposes access via the approved Arborfield Lakeside Bus Loop, together with detail of internal access roads, parking, footpaths, drainage and public open space.

### **Character of the Area:**

6. Core Strategy Policies CP1, Sustainable Development and CP3, General Principles for Development require a high quality design that respects its context. This principle is amplified by MDD LP Policies CC03, Green Infrastructure, Trees and Landscaping and TB21, Landscape Character and Arborfield Garrison SPD which stipulates that development proposals are to protect and enhance the Borough's Green Infrastructure, retain existing trees, hedges and other landscape features and incorporate high quality - ideally native – planting as an integral part of any scheme, within the context of the Council's Landscape Character Assessment. MDD policy TB08 sets out open space, sport and recreational standards for residential development. Policy TB21 requires applications to demonstrate how they comply with the Council's Landscape Character Assessment. Policy CC03 requires new development to protect and retain existing trees where possible.
7. Condition 9 of the outline planning permission (ref: O/2014/2280) requires a Design Code to be prepared and submitted for each character area prior to future RM applications being submitted to the LPA. Following minor amendments to the outline parameter plans agreed under application 181443 and in tandem with the submission of the current Reserved Matters application, an acceptable updated Design Code for the Northern Gateway area has been lodged under conditions application 210368. A small area to the far south-east of the parcel falls within the Lakeside Character Area, the design code for which was approved under application 170085.

#### *Landscape context*

8. The site was formerly part of the Hazebroucks Barracks area within Arborfield Garrison. Various associated Ministry of Defence buildings have been demolished in recent years and the site has been cleared in anticipation of residential development, save for trees which are to be retained.
9. Three SUDS basins and associated future landscaped areas separate parcel V1S from the adjacent Lakeside Bus Route which forms part of the secondary road network for the development. Waterman's Lake is located to the south-east of the bus loop road.



The northern boundary adjoins the film studios site (consented in 2017 for a temporary period of nine years under application 162881). The studio site will subsequently be demolished and redeveloped for residential use in accordance with the outline planning permission. To the west is a future green corridor, part of the wider SDL green infrastructure, beyond which lies the V2E development parcel. The proposed soft landscaped areas and SUDS infrastructure bordering the site's western and eastern boundaries are being delivered by Crest Nicholson, subject to a scheme of landscape design that is required under the outline planning permission.

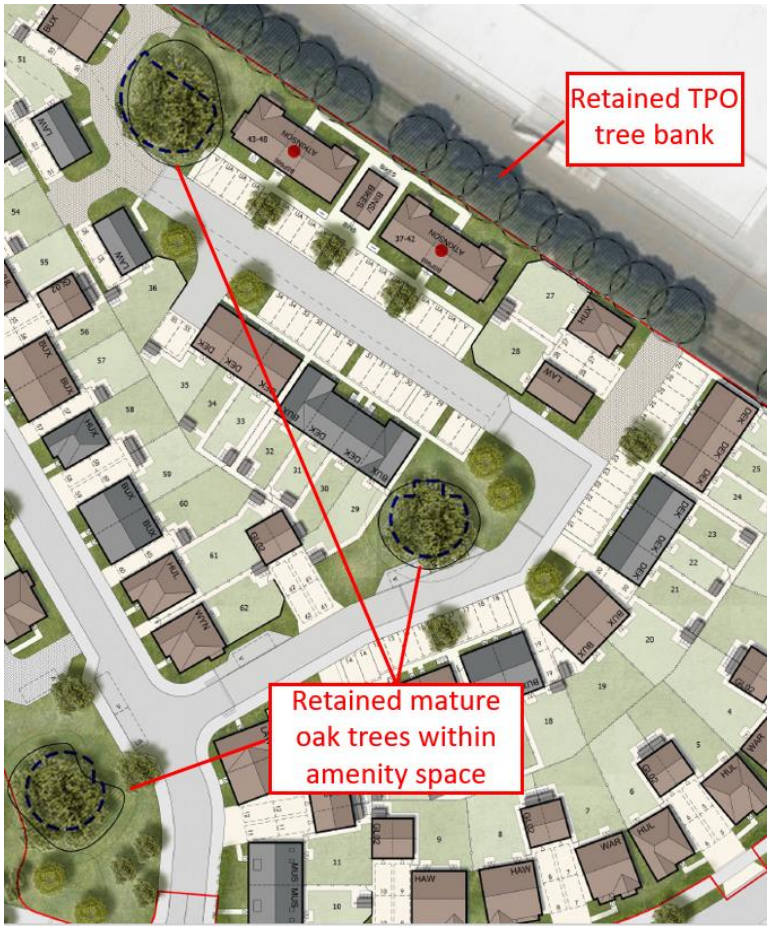


### *Residential layout*

10. In accordance with the outline parameters and Design Codes, the layout is predominantly of medium density (avg. 35 dwellings per hectare), reducing slightly to the south-east where development addresses Waterman's Lake across the bus loop road. Houses are predominantly 2 storeys, though with two 2.5 storey units at the main site access and two 3 storey apartment blocks fronting the eastern boundary to the north-east. A range of house types are proposed, each of which is considered appropriate within the emerging landscape setting and compatible with the site design codes. The layout is both legible and permeable, allowing for wayfinding and ease of navigation both through the site and to local amenities beyond. The proposals are also outward facing and do not prejudice adjacent undeveloped parcels from coming forward. The proposals respond appropriately to the existing and emerging character of the area and are therefore acceptable in design terms.

### **Trees & Landscaping**

11. An Arboricultural Implications (AIA) report supports the application and demonstrates that the proposals have sought to incorporate significant green capital wherever possible.



12. Three existing mature oak trees are integrated within the layout, providing focal points and pockets of amenity green space. The layout relates well to a row of existing TPO mature trees that lie beyond the eastern site boundary.

13. Although 16 existing trees within the site would be removed, only one of these is a category 'B' tree; the remainder are category 'C' specimens of lesser value. The application proposes 43 new trees across the site, though many more are to be planted beyond the site boundary within the green/SUDS corridor land which is being delivered by Crest Nicholson.

14. The layout is capable of accommodating high-quality landscaping. Condition 14 of the outline planning permission controls landscaping details and will ensure that an appropriate scheme is carried out. A further condition is recommended to require details of ongoing management, including responsibilities, timescales and maintenance schedules; 6 refers.

**Dwelling mix and affordable housing:**

15. Core Strategy Policy CP5 requires a mix of tenures, including up to 50% affordable housing. The Infrastructure and Contributions SPD states that development within the SDLs should seek 35% affordable housing, which echoes Appendix 7 of the Core Strategy. MDDL Policy TB05 requires an appropriate housing mix which reflects a balance between the character of the area and the current and projected needs of households.

16. The accommodation on the site would be provided within both apartments and houses, ranging from 1 bedroom apartments to 4 bedroom houses as follows:

		Private	Affordable	Total
<i>Apartments</i>	1 bed	-	12	12
	2 bed	22	8	30
<i>Houses</i>	3 bed	42	5	47
	4 bed	37	-	37
<b>Total</b>		<b>101</b>	<b>25</b>	<b>126</b>

17. Under the Outline permission, the s106 agreed that a commuted sum could be used to secure an equivalent 35% affordable housing requirement. The application proposes 25 affordable units on site, which equates to 20% of the dwellings across the parcel. The affordable size and tenure mix (split 60% social rent, 40% shared ownership) has been assessed by the Housing Officer and is considered appropriate relative to current local affordable housing needs. The remaining 15% is secured via a financial contribution that will be allocated to fund affordable housing elsewhere in the Borough; a recent such example being the forthcoming regeneration of the Gorse Ride estate.

**Residential Amenities:**

18. Core Strategy Policy CP3, General Principles for Development requires that new development should be of a high quality of design that does not cause detriment to the amenities of adjoining land users or their quality of life. This is amplified by Figure 4.25 (page 47) of the Wokingham Borough Council Borough Design Guide SPD which establishes minimum separation distances required between dwellings to maintain acceptable levels of privacy and avoid overbearing impacts.
19. The application site is well separated from existing development and the proposals will not harm residential amenity. No objections have been received from local residents. In terms of the relationship between dwellings within the proposed layout, the Borough Design Guide (BDG) establishes minimum separation distances of 10 metres front-to-front across the street, 22 metres back-to-back and 12 metres back-to-flank to achieve appropriate levels of privacy.
20. The BDG also establishes principles for provision of private amenity space for dwellings: the size of garden should relate to the house type and number of proposed occupants and provide a degree of privacy. In suburban areas gardens should be of sufficient size to allow a variety of activities (level areas for sitting, play, clothes drying, outside storage), which requires a roughly rectangular, useable space of at least 11 metres in length which receives direct sunlight for at least part of the day.
21. The proposed layout complies well with the guidance on separation distances between each new dwelling and makes appropriate provision for outdoor amenity space: all but 3 of the houses meet or exceed the minimum 11m threshold for garden length, with all affordable housing units meeting these criteria. It is acknowledged that on large development sites, not all properties are likely to meet all the minimum standards due to various competing standards that need to be applied; the acceptability of this is assessed on a case-by-case basis. The apartment units to the east of the site are well located to benefit from amenity space within their grounds, and in formal areas slightly further afield such as Waterman's Lake (c.130m).

*Internal Space Standards*

22. MDDL Policy TB07: Internal Space Standards has been superseded by the 'Technical housing standards – nationally described space standard'. This new standard is not a building regulation and remains solely within the planning system as a new form of technical planning standard which the council can choose to apply given it has a policy in place for this. All of the proposed unit types either meet or exceed National Space Standard minimum requirements for overall floor area and storage.

### **Environmental Health:**

23. Core Strategy Policy CP1, Sustainable Development and MDDL Policy CC06, Noise direct development away from areas where noise would impact upon amenity and require mitigation where noise cannot be completely avoided.
24. It is acknowledged that there will be a greater level of activity arising from the delivery and future occupation of the housing, though this would not be to an extent that is unusual in a residential location. As the site has been identified as being suitable for housing, the principle of residential development has been established. The outline permission also secured a Construction Management Plan via condition to minimise disruption. Condition 59 further requires proposals for noise insulation within dwellings and details will be required prior to commencement of development. Condition 68 of the Outline Planning consent controls the hours of operations to 0800-1800 on Mondays to Fridays and 0800-1300 on Saturdays. Outline planning condition 57 requires submission of a lighting scheme for each phase: details have been provided and satisfactorily protect residential amenity.

#### *Land contamination*

25. The application is supported by a site characterisation report which has identified elevated ground levels of lead and asbestos that will require remediation before the site is suitable for a residential with home grown produce end use. In accordance with outline planning condition 58, development within this phase shall not commence until a Remediation Method Statement is approved by the LPA, thereafter implemented and the results verified.

### **Sustainable Design and Construction:**

26. Due to the replacement of the Code for Sustainable Homes with national standards in Building Regulations, the proposal is no longer required to meet Code 4 in line with Policy CC04 of the MDD. However, the policy does require that all development should incorporate suitable waste management facilities including on-site recycling (composting). The proposals specify a water butt and composting space for every dwelling with a private garden.
27. Outline planning condition 49 requires low and zero carbon technologies to demonstrate how the development will achieve a 10% reduction in carbon emissions beyond the minimum requirement of 'Part L: Building Regulations'. The application is supported by a strategy to achieve this through building fabric efficiency measures in combination with solar PV panels and flue gas heat recovery systems. Condition 52 requires these measures to be installed and operational prior to occupation.

### **Access and Movement:**

28. Core Strategy Policies CP1, Sustainable Development and CP6, Managing Travel Demand seek to manage travel demand by a variety of measures and Policies CP10, Improvements in the Strategic Transport Network and CP19, Arborfield Garrison SDL amplify this aim, identifying specific measures relevant to the site including provision of an extension to the Nine Mile Ride linking to the A327.

#### *Impact on the road network*

29. The outline planning permission established access points to the site and was accompanied by a full Transport Assessment which modelled the potential impacts

using the Wokingham Strategic Transport Model. This included a review the Arborfield Garrison SDL (including the neighbouring Hogwood Farm site) in combination with the wider Core Strategy development commitment, demonstrating that the impact of development can be mitigated subject to the transport Interventions that were identified and secured through the planning permissions. A series of junction improvements along the A327 have already been completed. The northern section of Nine Mile Ride Extension has been completed, with the final section currently being constructed within Hogwood Farm to the south and due for completion spring/summer 2022.

#### *Site layout*

30. The Reserved Matters proposals have been designed in accordance with the outline access strategy and street hierarchy established through the planning permission. The application is supported by a highways assessment that sets out an access strategy. The main site access will be via the Lakeside Bus Route (Nuffield Road), with a secondary bellmouth to be constructed within the parcel in anticipation of future development to the north (land temporarily being used as film studios). The layout is permeable to pedestrians, with various points of access provided to the site's boundaries, as well as within the site itself. The applicant is working with Crest Nicholson to ensure that a pedestrian/cycle connection will be made between the western boundary and the green corridor immediately beyond the site boundary; outline planning condition 14 ensures that the LPA retains control over the delivery of this arrangement (see also informative 14). A suitable emergency access with bollards is provided via the Lakeside Bus Route. Analysis of the layout has demonstrated that refuse vehicles are able to route within acceptable drag distances of all bin stores. A planning condition is recommended to ensure that visibility splays for private driveways are provided in conjunction with the landscaping scheme that is to be approved under outline condition 14; proposed condition 3 refers. The proposals meet the Council's standards and will not result in an unacceptable impact on the local highway network.

#### *Access to Public Transport*

31. A public transport strategy has been secured by condition 33 of the outline planning consent. This secured the use of the Primary School Access Road (Baston Road) and Biggs Lane as primary streets. The planning permission for the Lakeside Bus Route specifies bus stops that are sited within c.150m of parcel V1S. Alternative stops are located at the intersection of Biggs Lane and Princess Marina Drive, 400-500m to the south-west. Convenient access to existing Leopard services to Reading and Wokingham are therefore available; these will become more frequent over time as additional subsidised services are phased in, as set out in the public transport strategy.

#### *Vehicle Parking*

32. In line with Core Strategy Policy CP6, Managing Travel Demand and MDDL Policy CC07: Parking, outline condition 28 requires reserved matters to incorporate car parking in line with the Council's standards. The standards require allocated parking to be supplemented with unallocated or visitor parking. The layout provides 289 allocated driveway parking spaces in addition to 36 garages spaces, 25 visitor and 18 unallocated spaces. The provision is distributed throughout the development and meets WBC minimum standards. A planning condition is recommended to secure a parking management strategy including ongoing monitoring; 4 refers.

#### *Electric Vehicle Charging*

33. The application is supported by a strategy layout which proposes 43 'active' electric vehicle charging spaces and 46 'passive' spaces i.e. with capability for conversion to

'active' upon future demand. The overall level of provision is in accordance with WBC standards. A planning condition is recommended to establish further technical detail for servicing off-plot parking spaces, in conjunction with detailed plans that will form part of a future section 38 highways adoption agreement. Condition 5 refers.

#### *Bicycle parking*

34. Consistent with Core Strategy Policies CP1, Sustainable Development and CP6, Managing Travel Demand, which expect development to make provision to support sustainable travel, Condition 29 of the outline planning consent requires cycle parking and storage in line with the Council's standards at the time. These are set out in MDDL Appendix 2: the requirement is for provision of at least one cycle space for dwellings with three or fewer habitable rooms, two spaces for dwellings with four or five habitable rooms and three cycle spaces for larger dwellings.
35. The application proposes that cycle parking for houses will be provided on plot within garden sheds. For the apartment units, secure facilities are specified in a dedicated block for residents, with Sheffield stands provided for visitors.

#### **Flooding and Drainage:**

36. Core Strategy Policy CP1 and MDDL Policies CC09 and CC10 establish that new development should avoid increasing and where possible reduce flood risk. Design Principle 1c(ii) requires provision of a comprehensive system for water management, which takes account of existing features and includes proposals for effective sustainable urban drainage (SuDS), measures to avoid flood risk. MDD Policy CC10 states that all development proposals must ensure surface water arising from the proposed development is managed in a sustainable manner and demonstrated through a Flood Risk Assessment, and/or Surface Water Drainage Strategy.
37. A Flood Risk Assessment was produced in support of the outline planning permission and has ensured that all residential development parcels are appropriately sited. The Reserved Matters are accompanied by a drainage scheme to manage surface water in heavy rainfall events up to an including the 1 in 100 year storm, plus an allowance for climate change. During such events, water would be contained within carriageways and then routed away from properties to a series of attenuation ponds adjacent to the southern boundary of the site. The proposals meet the requirements of the Lead Local Flood Authority and are therefore acceptable.

#### **Thames Basin Heaths Special Protection Area:**

38. The Thames Basin Heaths Special Protection Area (SPA) was designated under European Directive due to its importance for heathland bird species. Core Strategy policy CP8 establishes that new residential development within a 7km zone of influence is likely to contribute to a significant impact upon the integrity of the SPA. The Arborfield Garrison SDL falls within this zone of influence and, in accordance with Core Strategy policy CP17 and Design Principle 1c (vi), mitigation in the form of Suitable Alternative Natural Greenspace (SANG) is being provided.
39. The development is mitigated through the provision of the Suitable Alternative Natural Greenspace (SANGS) in the north-eastern part of the outline application site and at West Court further to the south. These areas have been designed to compensate for population growth associated the SDL development. The northern SANG has been

completed to the Council's satisfaction and provides appropriate mitigation for this phase of the development.

### **Ecology:**

40. Core Strategy Policy CP7, Biodiversity and MDDL Policy TB23: Biodiversity and Development, require appropriate protection of species and habitats of conservation value. Design Principle 1b (i-ii) is concerned with protection of ecological habitat and biodiversity features, together with mitigation of any impacts that do arise.
41. The application is accompanied by suite of ecological reports (submitted in parallel to discharge outline planning conditions) and which consider the potential impact of development on protected species, habitat and invasive non-native species. The reports and strategies comprehensively describe the potential impact of the development and propose mitigation where required.

### **Archaeology:**

42. Core Strategy Policy CP3 and MDD LP Policy TB25 require the archaeological impact of development to be taken into consideration. Outline planning permission 69 requires Reserved Matters applications to be supported by archaeological investigation. Corresponding works, including trial trench evaluation and a further stage of investigation to record Roman features, have all been completed for this parcel. There are no further archaeological matters outstanding; the site is therefore considered to have been satisfactorily mitigated.

### **CONCLUSION**

43. The reserved matters are consistent with the principles and parameters established by the outline planning permission, which themselves reflect the Council's adopted policies and guidance for development within the Arborfield Garrison SDL. It is considered that the application will deliver high quality development in accordance with the Council's spatial strategy and vision and therefore can be recommended for approval.

<b>The Public Sector Equality Duty (Equality Act 2010)</b>
--

<i>In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.</i>
---

This page is intentionally left blank



PLANNING REF : 211024  
PROPERTY ADDRESS : Arborfield Green Community Centre  
: Arborfield, Reading  
: RG2 9ND  
SUBMITTED BY : Barkham Parish Council  
DATE SUBMITTED : 07/04/2021

COMMENTS:

Barkham Parish Council have no comments on this application

This page is intentionally left blank

Primary School

Temporary film studios

Temporary film studios

Parcel V2E

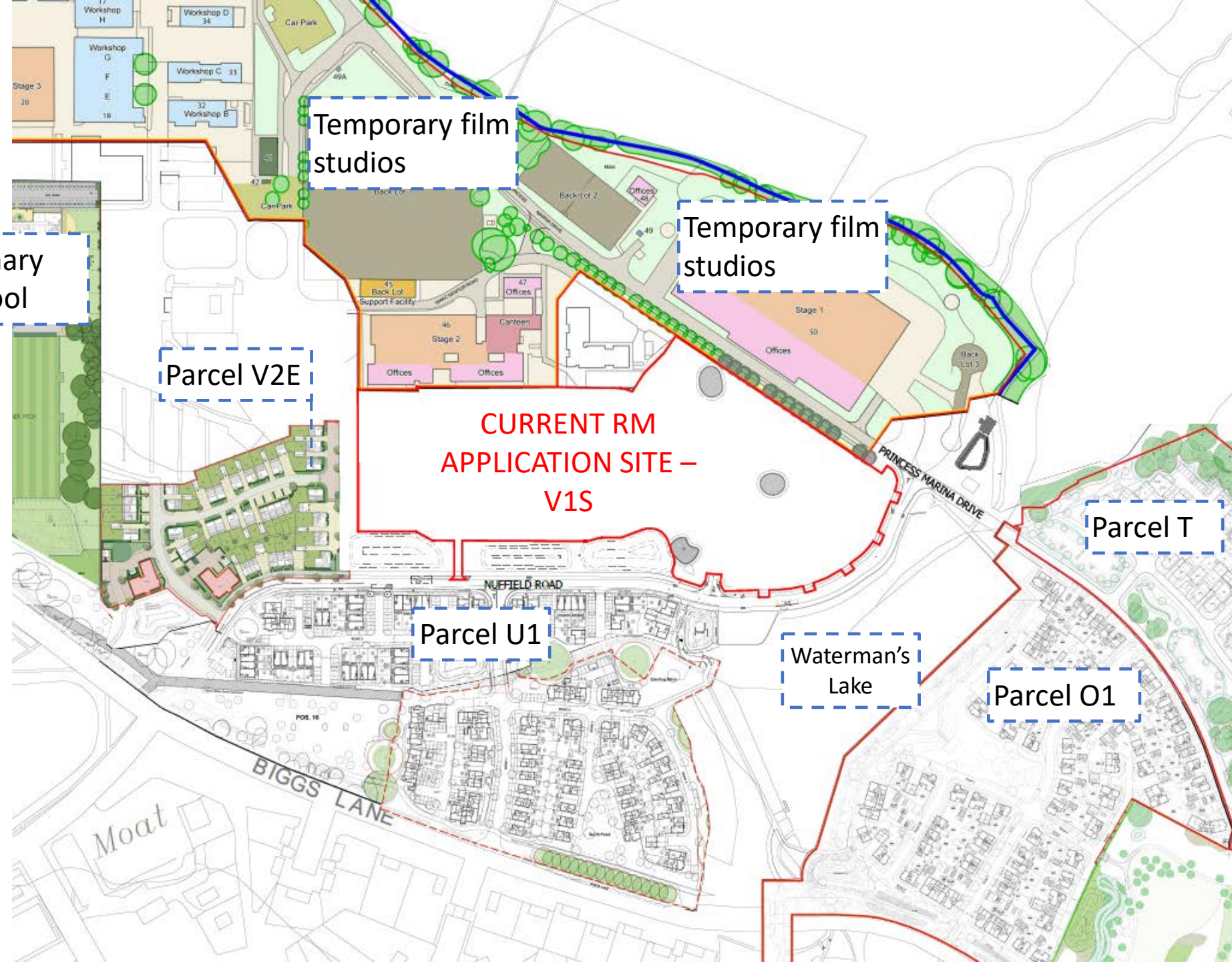
CURRENT RM APPLICATION SITE – V1S

Parcel U1

Waterman's Lake

Parcel T

Parcel O1



This page is intentionally left blank

West Court Land (Scale 1:5000)

DO NOT SCALE  
All dimensions to be checked on site and Architect to be notified of any discrepancies prior to commencement

DESIGNERS RISK ASSESSMENT  
Under Section 19 - Collaborative Design and Management Regulations 1994  
RESIDUAL RISKS

REF	DESCRIPTION	DATE
-----	-------------	------

**KEY**

- SANGS Areas (S1, S2 and S3)  
38.41Ha/ 94.91Acres
- Residential Development Areas
- Residential development or potential allotment site
- District Centre (Mixed Use)  
(Use classes A1, A2, A3, A4, A5, B1, D1 and D2 with residential above)

Neighbourhood centre to be located in development cells V2 or U1. Specific siting and configuration to be agreed at reserved matters stage.

Extra Care building located in cell R.

Existing nursery use to be retained in cell L or relocated to an alternative location within the site.

Primary School Land (SC1)

Secondary School Land (SC2)

Primary Street Network

Secondary Street Network (Indicative)

NB. Precise location and details of allotments to be determined.

L 16/05/2018 Green Corridor Amended for Visual Purposes.

K 03/04/2018 Green Corridor Amended.

J 19/01/2015 Key updated.

I 16/01/2015 Cell O1 amended.

H 15/01/2015 Cell O1 amended.

G 12/01/2015 Street network updated.

F 09/01/2015 Tertiary street network amended. Updated cell boundaries B, C, C1, C2, SC2, O1, O2, S2, S3 and T. Cells A, BB2 and O3 now shown as allotments and key updated.

E 16/10/2014 Key labels amended to include references to cells for clarity. Colour altered for Secondary Street Network for clarity.

REVISION	DATE	DESCRIPTION	CHECKED
----------	------	-------------	---------

**idp** PARTNERSHIP  
SOUTHERN

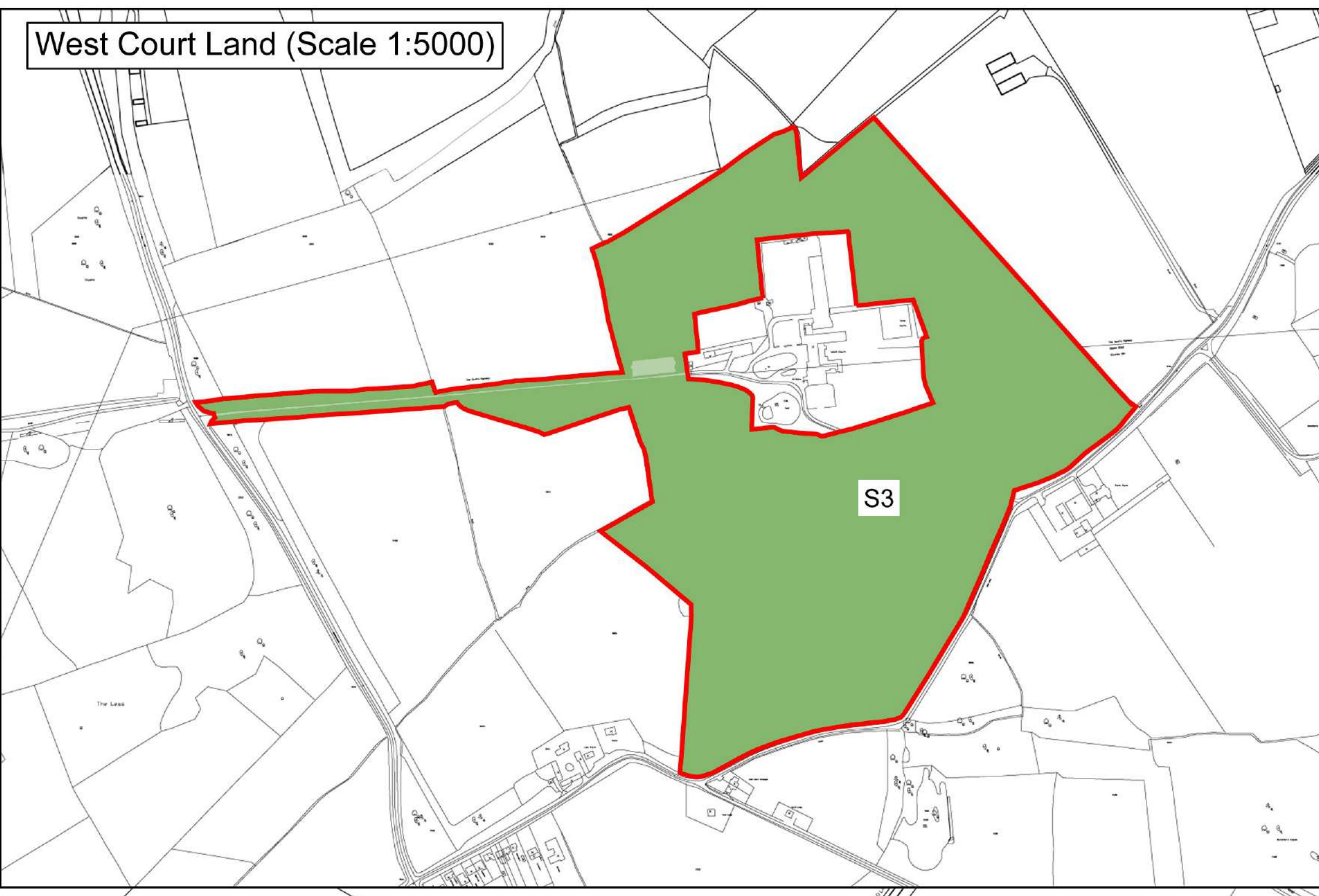
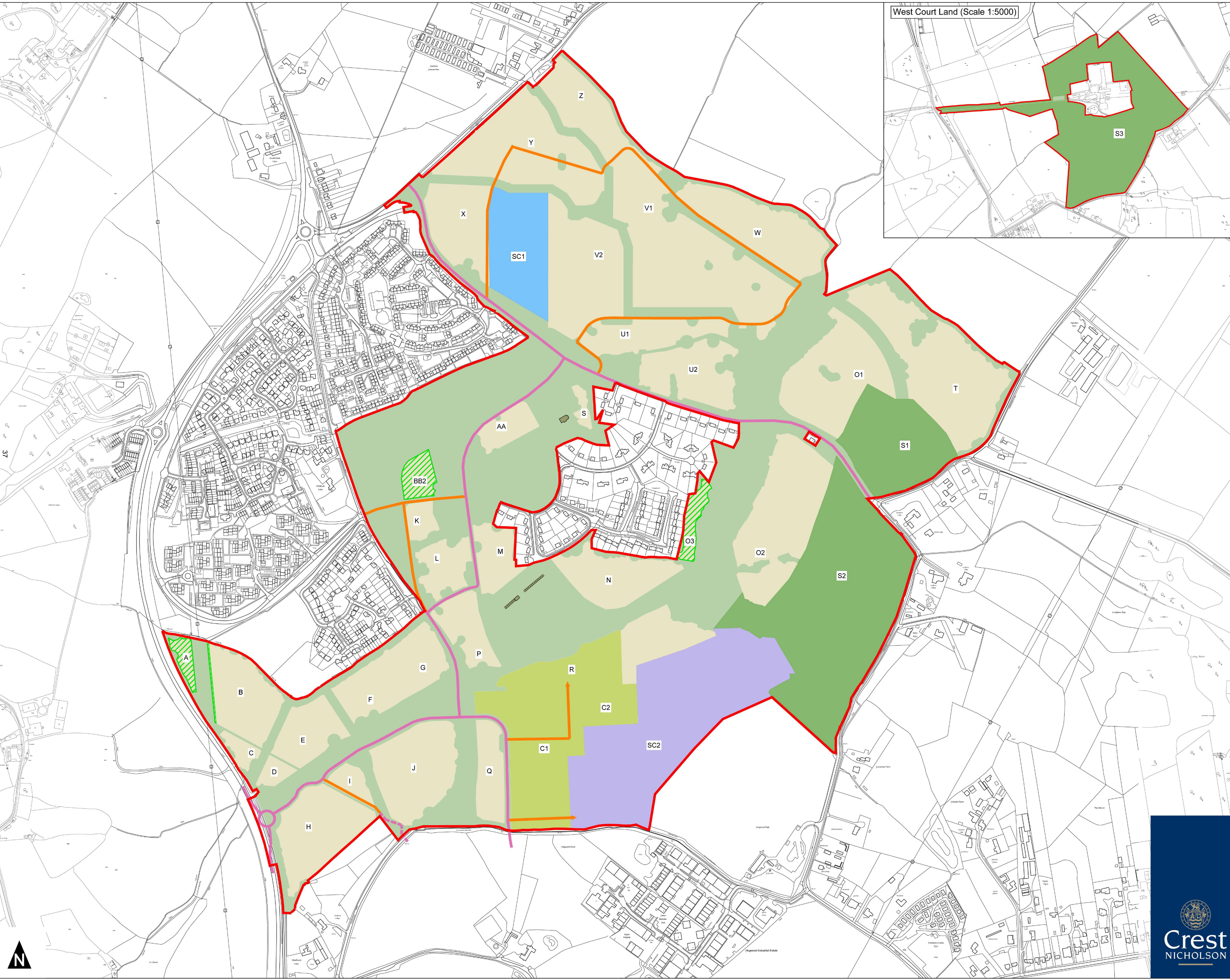
26 STORE STREET, LONDON, WC1E 7BT  
TEL: (0191) 281 4442 FAX: (0191) 281 1090 e-mail: info@idpartnership-northern.com

FOR CLIENT: Arborfield Garrison SDL for Crest Nicholson

DRAWING TITLE: Land Use Parameter Plan

PROJECT: MM	DRAWN BY: DJ	CHECKED:
SCALE: 1:2500 at A0	PROJECT NO: N81-2240	DRAWING NO: Rev L
DATE: 19/01/2015		
DWG STATUS: DESK	COMBINATION: TENDER	CONSTRUCTION: RECORD

COPYRIGHT - idpartnership



This page is intentionally left blank

Revision	Date	Dm	Ckd
A	16.03.21	JK	JT
B	24.06.21	JK	JT
C	30.06.21	JK	JT
D	07.07.21	JK	JT
E	15.07.21	JK	JT
F	21.07.21	JK	JT
G	22.07.21	JK	JT
H	29.07.21	PL	JT



ARBORIELD, WOKINGHAM - PARCEL V													
Drawing: PL-03 Planning Layout													
House Type	No's	Sq. ft	Sq. m	Stairs	Bedrooms	Occupancy	Heatable rooms	Bed 1	Bed 2	Bed 3	Bed 4	Total Sq. Ft.	
<b>Open Market</b>													
Dekker (T/S)	22	766	71	2	2	2b3p	4	11.83	9.26	-	-	2.31	16,852
Buxton	27	919	85	2	3	3b4p	5	11.50	9.26	7.75	-	2.50	24,813
Lawrence (s)	1	940	87	2	3	3b4p	5	11.52	7.52	7.51	-	2.78	940
Lawrence (d)	7	940	87	2	3	3b4p	5	11.52	7.52	7.51	-	2.78	6,590
Huxley	7	963	89	2	3	3b4p	5	12.00	8.42	7.51	-	2.56	6,741
Hulford	11	1216	113	2	4	4b5p	6	12.35	10.31	7.84	7.56	3.02	13,376
Butler	4	1310	122	2	4	4b5p	6	11.91	10.25	8.13	7.50	3.06	5,240
Wynyard	5	1311	122	2	4	4b5p	6	12.04	10.05	8.23	7.52	3.03	6,555
Warton	7	1311	122	2	4	4b5p	6	12.04	10.05	8.23	7.52	3.00	9,177
Musgrave	1	1398	130	4	4b5p	6	16.25	12.40	8.71	7.64	3.00	1,398	
Musgrave (Side Bay)	1	1398	130	2	4	4b6p	6	16.25	12.40	8.71	7.64	3.00	1,398
Gwyn	5	1410	131	2	4	4b5p	7	12.28	12.04	10.03	8.61	3.04	7,050
Hawkins	2	1498	139	2	4	4b7p	7	13.18	12.29	11.50	9.10	3.57	2,996
Hawkins (Side Bay)	1	1498	139	2	4	4b7p	7	13.18	12.29	11.50	9.10	3.57	1,498
Market sub-total	101											104,614	
<b>Social Rent</b>													
Atterbury GF WC	2	587	55	F	1	1b2p	2	13.50	-	-	-	1.51	1,174
Atterbury	10	546	51	F	1	1b2p	2	11.64	-	-	-	1.52	5,460
Sansom	2	850	79	2	2	2b4p	4	14.50	11.50	-	-	2.00	1,700
Sutherland	1	1001	93	2	3	3b5p	5	12.92	11.91	7.73	-	3.26	1,001
Social Rent sub-total	15											9,335	
<b>Shared Ownership</b>													
Sansom	6	850	79	2	2	2b4p	4	14.50	11.50	-	-	2.00	5,100
Sutherland	4	1001	93	2	3	3b5p	5	12.92	11.91	7.73	-	3.26	4,004
Affordable sub-total	10											9,104	
Affordable sub-total	25												
<b>Total Dwellings</b>	<b>126</b>											<b>Total sq. ft. 123,053</b>	
Gross Site Area	8.87 acres										3.59 ha		
Net Site Area	7.84 acres										3.17 ha		
Density (Based on Net Area)	16.1 no. / acre										39.7 no. / ha		
Coverage (Net Area)											15,703 sq. ft. / acre		

### LEGEND

- Application Boundary
- Social Rent Housing
- Shared Ownership Housing
- Fence 1.8 Closeboard
- Fence 1.8 Panel
- 1.8m Brick Screen Wall
- Hedge
- External Private Bins Store (rear garden)
- External Private Bins Store (front of plot)
- Refuse Collection Point
- Demarcation Strip - 80x80 Tegula Cobbles
- Permeant Cover or similar approved
- Front access & part H Access
- Plot Numbers
- Timber Bollard
- 1m Single Pedestrian Gate
- Timber shed with secure lock for cycles
- Proposed Service Margins
- Block Paving
- Visitor Parking Space
- Visitor Cycle Parking
- Unallocated Parking Space

Miscellaneous:  
Water Butt and Composting to be provided in rear gardens.



Project: **Arborfield Parcel V15**  
Drawing Title: **Planning Layout**

Date: 04.03.21  
Project No: 32229

Scale: 1:500 @A1  
1:1000 @A3

Drawing No: PL-03

Drawn by: JK  
Check by: JT  
Revision: H

**BARTON WILLMORE**  
Town Planning • Master Planning & Urban Design • Architecture •  
Landscape Planning & Design • Infrastructure & Environmental Planning •  
Heritage • Graphic Communication •  
Communications & Engagement • Development Economics

bartonwillmore.co.uk

Offices at Birmingham Bristol Cambridge Cardiff Edinburgh Glasgow Leeds London Manchester Newcastle Reading Southampton

Reproduced from the Ordnance Survey Map with the permission of the Controller of HMSO, Crown Copyright Reserved. Licence No. 100019279.

J:\2020\122000\32229\Arborfield V15\A1 - 1:500\Drawings\PL-03 Planning Layout\32229-PL-03.dwg - PL-03\A1

This page is intentionally left blank





STREET ELEVATION AA



STREET ELEVATION BB



STREET ELEVATION CC



STREET ELEVATION DD



Project  
Arborfield  
Parcel V1S

Drawing Title  
Street Scene Elevations

Date	Scale	Drawn by	Check by
02.10.20	1:200 @A1	CB	JK
Project No	Drawing No	Revision	
32229	SE-01	B	

**BARTON WILLMORE**

Town Planning • Master Planning & Urban Design • Architecture •  
Landscape Planning & Design • Infrastructure & Environmental Planning •  
Heritage • Graphic Communication •  
Communications & Engagement • Development Economics

bartonwillmore.co.uk

Offices at Birmingham Bristol Cambridge Cardiff Edinburgh Glasgow Leeds London Manchester Newcastle Reading Southampton

This page is intentionally left blank



This page is intentionally left blank

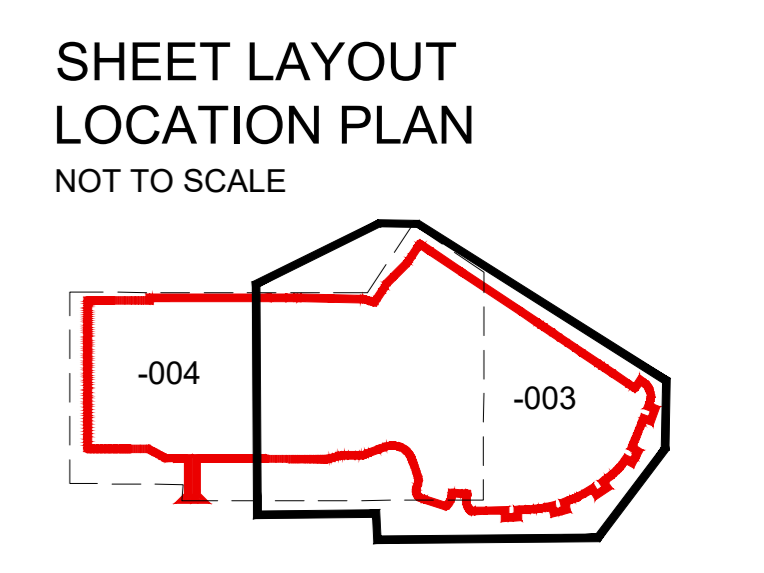


### LEGEND

- EXISTING TREES/HEDGES  
With Root Protection Area  
To be retained
- PROPOSED TREES  
Sm - Semimature  
Ets - Extra Heavy Standard  
See Schedule
- ORNAMENTAL HEDGE  
See Schedule
- PROPOSED PLANTING  
Shrubs/Herbaceous/Grasses  
See Schedule
- TURF  
with area (m<sup>2</sup>)
- AMENITY GRASS AREAS  
Wear Tolerant Turfgrass Mixture  
Emorgate EG22 sown at 25g/m<sup>2</sup>  
Keep mown short to 40mm

### DRAWING NOTES

All tree and shrub locations and species must be taken into consideration by the project Structural Engineer to ensure that foundation design accords with the specifications set out in Chapter 4 of the NHBC Standards. The landscape Contractor must ensure that plant material is planted in the locations shown and with NO SUBSTITUTIONS made without consulting the Group Landscape Design Department. It is the Landscape Contractor's responsibility to ensure that all underground services have been located and identified in advance of tree pit excavation so that no services are damaged or compromised by tree planting. Any changes to tree positions, species or specifications must be approved by the Group Landscape Design Department. Underground service strips are to be kept free of all plant material. Contractors must comply with all Health and Safety regulations and be aware of project/site specific information including referring to the information set out in the CDM drawings.



### CDM LEGEND

Symbol	Brief description of risk
	Caution overhead/underground services
	Severe assessment
	Trees have protection order in place, guarding required

NOTES:  
Please coordinate to ensure all health and safety procedures are being correctly followed in relation to all temporary works.

### PLOT NUMBER SHEET REF.

SHEET 003 (1-85)  
SHEET 004 (86-127)

FOR SPECIFICATION,  
PLANTING DETAILS &  
SCHEDULE SEE DRAWING  
SO137-LS-005

Revision	Date
1	22/07/21

Landscaping updated to the latest layout (G).

Job: Arborfield, Parcel V1S  
Title: Site Landscaping  
Scale: 1:250 @A0  
Date: July 2021  
Drawn: LP  
Checked: PmJ

THIS DRAWING AND THE BUILDING WORKS DEFINED ARE THE COPYRIGHT OF J S BLOOR (SERVICES) LIMITED. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM BLOOR HOMES. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION IS STRICTLY PROHIBITED.

J S BLOOR (SERVICES) LIMITED  
ASHBY ROAD, MEASHAM, SWALINACOTE,  
DERBYSHIRE DE12 2JF  
TELEPHONE 01530 270100 FACSIMILE 01530 272006

Drawing No: SO137-LS-003a

# ARBORFIELD

# ARBORFIELD

- ### LEGEND
- EXISTING TREES/HEDGES With Root Protection Area To be retained
  - PROPOSED TREES Sm - Semi-mature Ehs - Extra Heavy Standard See Schedule
  - ORNAMENTAL HEDGE See Schedule
  - PROPOSED PLANTING Shrubs/Herbaceous/Grasses See Schedule
  - TURF with area (m²)
  - AMENITY GRASS AREAS Wear Tolerant Turfgrass Mixture Emorgate EG22 sown at 25g/m² kept mown short to 40mm

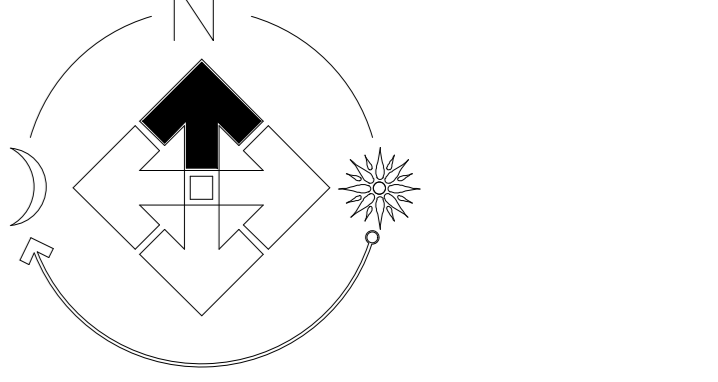
### DRAWING NOTES

All tree and shrub locations and species must be taken into consideration by the project Structural Engineer to ensure that foundation design accords with the specifications set out in Chapter 4 of the NHBC Standards. The landscape Contractor must ensure that plant material is planted in the locations shown and with NO SUBSTITUTIONS made without consulting the Group Landscape Design Department. It is the Landscape Contractor's responsibility to ensure that all underground services have been located and identified in advance of tree pit excavation so that no services are damaged or compromised by tree planting. Any changes to tree positions, species or specifications must be approved by the Group Landscape Design Department. Underground service strips are to be kept free of all plant material. Contractors must comply with all Health and Safety regulations and be aware of project/site specific information including referring to the information set out in the CDM drawings.

### SHEET LAYOUT LOCATION PLAN

NOT TO SCALE

- ### CDM LEGEND
- Caution overhead / underground services
  - Sewer easement
  - Trees have protection order in place, guarding required
- NOTES:  
Landscape contractor to ensure all health and safety procedures are being correctly followed in relation to all temporary works.



### PLOT NUMBER SHEET REF.

SHEET 003 (1-85)  
SHEET 004 (86-127)

### FOR SPECIFICATION, PLANTING DETAILS & SCHEDULE SEE DRAWING SO137-LS-005

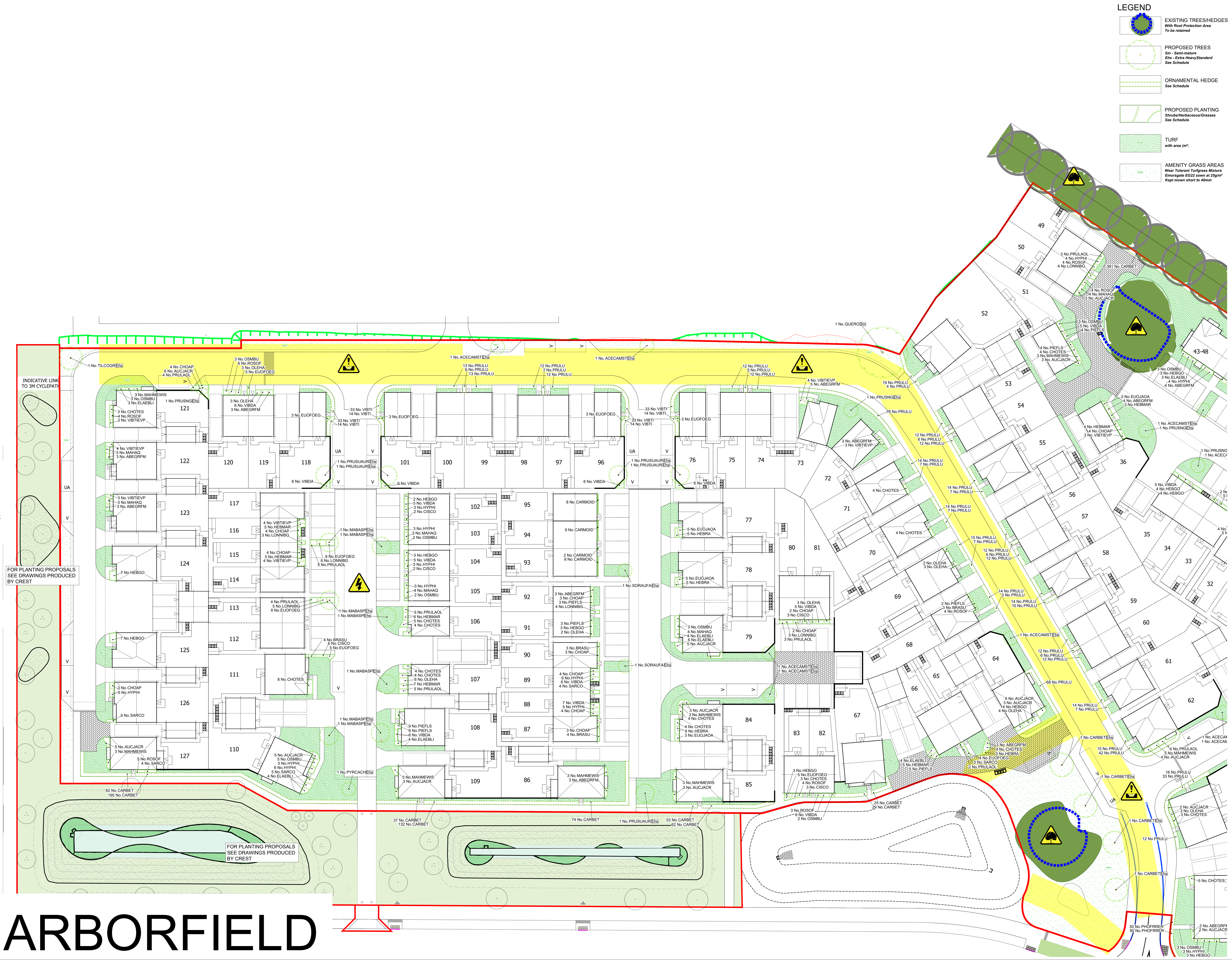
Revision	Date
1	22/07/21
Landscape updated to the latest layout (G).	

Job:	Arborfield, Parcel V1S
Title:	Site Landscaping
Scale:	1:250 @A0
Date:	July 2021
Drawn:	LP
Checked:	FmJ

THIS DRAWING AND THE BUILDING WORKS DEFINED ARE THE COPYRIGHT OF BLOOR HOMES (SERVICES) LIMITED. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF BLOOR HOMES (SERVICES) LIMITED. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

J S BLOOR (SERVICES) LIMITED  
ASHBY ROAD, MEASHAM, SWALINCHOTE,  
DERBYSHIRE DE12 2JF  
TELEPHONE 01530 270100 FACSIMILE 01530 272006

Drawing No. **SO137-LS-004a**



INDICATIVE LINK TO 3M CYCLEPATH

FOR PLANTING PROPOSALS SEE DRAWINGS PRODUCED BY CREST

FOR PLANTING PROPOSALS SEE DRAWINGS PRODUCED BY CREST

# Agenda Item 25.

Application Number	Expiry Date	Parish	Ward
210179	15/07/2021	Wokingham Town	Evendons; Finchampstead North;

<b>Applicant</b>	Sand Martins Golf Club Limited
<b>Site Address</b>	Sand Martins Golf Club, Finchampstead Road, Wokingham, RG40 3RQ
<b>Proposal</b>	Full Planning application for the proposed part single, part two storey side/rear extension to existing clubhouse, erection of a detached Hotel Building comprising 39no. bedrooms, function rooms, kitchen and staff room, with car parking, servicing, associated landscape enhancements and an electrical sub-station.
<b>Type</b>	Full
<b>Officer</b>	Mark Croucher
<b>Reason for determination by committee</b>	Major application

<b>FOR CONSIDERATION BY</b>	Planning Committee on Wednesday, 11 August 2021
<b>REPORT PREPARED BY</b>	Assistant Director – Place

<b>SUMMARY</b>
<p>The application is for the erection a 39-bedroom hotel with associated facilities such as a restaurant and function rooms that will be linked to the existing Sand Martins golf course. This will also include extending the existing clubhouse along with associated parking areas, footpaths and soft landscaping.</p> <p>The site is within the countryside and the development would impact the landscape; however, the merits of this application clearly outweigh the harm and overall the application is recommended for approval. There would be social and economic benefits, facilitating the growth of a local business, increasing employment opportunities and improving a recreational facility.</p> <p>The hotel building and clubhouse extension will utilise contemporary design features along with more traditional elements, creating a building for the here and now but also contextually appropriate to the local area and history of the site.</p> <p>Overall, the benefits of the application outweigh the harm and it therefore complies with the development plan when considered as a whole. The recommendation is to approve the application subject to a legal agreement and conditions, the requirements of which are set out in this report.</p>

<b>PLANNING STATUS</b>
<ul style="list-style-type: none"> <li>• Countryside</li> <li>• Public Rights of Way</li> <li>• Flood Zone 1</li> <li>• Great Crested Newt Consultation Zone</li> <li>• 5km SPA Zone</li> <li>• 7km SPA Zone</li> <li>• Habitat suitable for bats</li> </ul>

## RECOMMENDATION

That the committee authorise the **GRANT OF PLANNING PERMISSION** subject to the following:

- A. Prior completion of a legal agreement pursuant to section 106 of the Town and Country Planning Act 1990 (as amended) to secure an Employment Skills Plan. If the Agreement is not completed within 3 months of the date of this resolution, Planning Permission will be refused unless the Operational Manager for Development Management in consultation with the Chairman of the Planning Committee agree to a later date.

**B. Conditions and informatives:**

*Conditions:*

Time limit

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

*Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).*

Approved details

2. This permission is in respect of the submitted application plans and drawings numbered / titled B100 00, B200 05, B201 05, B202 05, B203 05, B300 05, B301 05, B400 05, B401 00, B600 00, 010 00, 011 00, 101 00, A020 00, A021 00, A022 00, A029 00, A030 00, A030 00, A050 00, A051 00, A100 00, A110 00, A200 05, A201 05, A202 05, A209 05, A300 05, A301 05, A400 05 and 401 05. The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.

*Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.*

Materials

3. Before any above ground construction works, samples and details of the materials to be used in the construction of the external surfaces, including PV or solar panels, of the building/s shall have first been submitted to and approved in writing by the local planning authority. Development shall not be carried out other than in accordance with the so-approved details.

*Reason: In the interest of visual amenity.*

Trees and Landscape

4. a) No development or other operation shall commence on site until an Arboricultural Method Statement and Scheme of Works which provides for the retention and protection of trees, shrubs and hedges growing on or adjacent to the site in accordance with BS5837: 2012 has been submitted to and approved in writing by the local planning authority. No development or other operations shall take place except in complete accordance with the details as so-approved (hereinafter referred to as the Approved Scheme).



b) No operations shall commence on site in connection with development hereby approved (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) until the tree protection works required by the Approved Scheme are in place on site.

c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.

d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including materials removed from the site, unless the prior approval in writing of the local planning authority has first been sought and obtained.

*Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence*

5. Prior to the commencement of the development a Landscape Management Plan, including long term design objectives, management responsibilities, timescales and maintenance schedules for all landscape areas, shall be submitted to and approved in writing by the local planning authority. The landscape management plan shall be carried out as approved.

*Reason: In order to ensure that provision is made to allow satisfactory maintenance of the landscaping hereby approved.*

#### Archaeology

6. No development shall take place within the application area until the applicant, their agents or successors in title have secured and implemented a programme of archaeological field evaluation in accordance with a written scheme of investigation, which has been submitted by the applicant and approved in writing by the Local Planning Authority. The results of the evaluation will inform the preparation of a mitigation strategy which will be submitted by the applicant and approved in writing by the Local Planning Authority prior to the commencement of the development. The mitigation strategy will provide for:

i) A programme of site investigation and recording, or alternative appropriate mitigation, within the area of archaeological interest. Development will not commence within the area of archaeological interest until the site investigation has been satisfactorily completed.

ii) A programme of post investigation assessment, analysis, publication, dissemination and archiving. This part of the condition shall not be discharged until these elements of the programme have been fulfilled in accordance with the programme set out in the WSI or unless otherwise agreed in writing by the Local Planning Authority

*Reason: The site lies within an area of archaeological potential; specifically relating to the former Evendons manor house and any medieval antecedents. A programme of archaeological work is required to mitigate the impact of*

*development and to record any surviving remains in order to advance our understanding of their significance in accordance with national and local plan policy.*

#### Drainage

7. No development shall take place until details of the drainage system for the site have been submitted to and approved in writing by the LPA.
  1. Confirmation from drainage system owner that the capacity will be sufficient to which control discharge is proposed.
  2. If there is a new discharge point to ordinary watercourse consent is required and approving body is WBC.
  3. Existing and proposed drainage layout plan including but not necessarily limited to - details of land drains/watercourses, pipes and their capacities and discharge points.

The approved scheme shall be implemented prior to the first occupation of the development and shall be maintained in the approved form for as long as the development remains on the site.

*Reason: to prevent increased flood risk from surface water run-off. Relevant policy: NPPF Section 10 (Meeting the Challenge of Climate Change, Flooding and Coastal Change), Core Strategy policy CP1 and Managing Development Delivery Local Plan policies CC09 and CC10.*

#### Highways

8. No works shall commence on site until a Construction Environmental Management Plan (CEMP), which includes working hours, has been submitted to the LPA and approved in writing. The details hereby approved shall be fully implemented.

*Reason: In the interests of highway safety & convenience and neighbour amenities. Relevant policy: Core Strategy policies CP3 & CP6.*

9. No part of any building(s) hereby permitted shall be occupied or used until the vehicle parking and turning space has been provided in accordance with the approved plans. The vehicle parking and turning space shall be retained and maintained in accordance with the approved details and the parking space shall remain available for the parking of vehicles at all times and the turning space shall not be used for any other purpose other than vehicle turning.

*Reason: In the interest if highway safety.*

10. Prior to the occupation of the hotel building hereby permitted, details of secure and covered bicycle storage/ parking facilities for the occupants of [and visitors to] the development shall be submitted to and approved in writing by the local planning authority. The cycle storage/ parking shall be implemented in accordance with such details as may be approved before occupation of the development hereby permitted, and shall be permanently retained in the approved form for the parking of bicycles and used for no other purpose.

*Reason: In order to ensure that secure weather-proof bicycle parking facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: NPPF Section 4 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.*

11. 10% of the proposed parking spaces provided shall have electrical charging points and these shall be maintained and kept available for the lifetime of the development unless otherwise agreed in writing by the Local Planning Authority.  
*Reason: to ensure to use of the electric vehicles are catered for. policy: NPPF Section 4 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.*

12. Prior to the completion and operation of the development hereby approved, a Travel Plan shall be submitted to and approved in writing by the local planning authority. The travel plan shall include a programme of implementation and proposals to promote alternative forms of transport to and from the site, other than by the private car and provide for periodic review. The travel plan shall be fully implemented, maintained and reviewed as so approved.  
*Reason: To encourage the use of all travel modes. Relevant policy: NPPF Section 4 (Sustainable Transport) and Core Strategy policy CP6.*

#### Noise

13. Prior to the commencement of the development hereby approved, the applicant shall carry out a noise impact assessment of the operation of the permitted development and submit, for written approval, to the Local Planning Authority. The approved noise impact assessment shall include a scheme that set out how the break-out of noise from operations will be minimised and managed and include hours of operation. The details thereby agreed shall be fully implemented in perpetuity.  
*Reason: To protect the occupants of nearby residential properties from noise*

14. The sound rating level (established in accordance with BS4142:2014) of any plant, machinery and equipment installed or operated in connection with this permission shall not exceed, at any time, the prevailing background sound level at the nearest residential or noise sensitive property. If the plant, machinery or equipment is to be enclosed details of the enclosure shall be sent to the local planning authority for their approval before the development commences  
*Reason: To protect the occupants of nearby residential properties from noise*

#### Waste details

15. No building shall be occupied until details of on-site collection area(s) for refuse and recyclable materials have been constructed in accordance with details to be submitted to and approved in writing by the local planning authority. The collection areas/ facilities shall be permanently retained as so-approved and used for no purpose other than the temporary storage of refuse and recyclable materials  
*Reason: To ensure the efficient collection of waste materials whilst avoiding highway obstruction and loss of visual amenity, in the interests of a functional development, the character of the area, highway safety & convenience and the quality of the pedestrian environment. Relevant policy: Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC04.*

#### Ecology

16. Prior to occupation of the Hotel Building, a long-term management plan for biodiversity net gain to the site, in line with the measures outlined in section 8.5 of the submitted Ecological Appraisal report (Hankinson Duckett, ref: 973.1, January 2021) and demonstrating a minimum 10% net gain using the latest Defra

metric, shall be provided to the local authority for its approval. This strategy shall be prepared by a suitably qualified ecologist and appropriate to the local ecological context. Once approved the strategy shall be implemented in full unless otherwise agreed by the local authority in writing.

*Reason: to ensure that the proposal is in accordance with Section 41 NERC Act re. UK Biodiversity Action Plan Priority Species (Species of Principal Importance) and complies with Planning Policies for Wildlife including CP7 of the Wokingham Borough Core Strategy (2010), and the National Planning Policy Framework which requires consideration of the potential biodiversity gains that can be secured within developments.*

17. No works affecting the bat roosts shall commence until a licence for development works affecting bats has been obtained from the Statutory Nature Conservation Organisation (Natural England) and a copy (or an email from Natural England that the site has been registered under the bat mitigation class licence) has been submitted to the local planning authority. Thereafter mitigation measures approved in the licence shall be maintained in accordance with the approved details. Should conditions at the site for bats change and / or the applicant conclude that a licence for development works affecting bats is not required the applicant is to submit a report to the council detailing the reasons for this assessment and this report is to be approved in writing by the local planning authority prior to commencement of works.

*Reason: To ensure that bats, a material consideration, are not adversely affected by the development.*

18. Prior to occupation of the Hotel Building, a lighting design strategy for biodiversity for the site, including car parks and access road, shall be submitted to and approved in writing by the local planning authority. The strategy shall:
- a) Identify those areas/features that are particularly sensitive for bats and that are likely to cause disturbance; and
  - b) Show how and where external lighting will be installed (through provision of appropriate lighting contour plans and technical specifications) so that it can be clearly demonstrated that areas to be lit will not disturb or prevent the above species having access to their breeding sites and resting places.

All external lighting shall be installed in accordance with the specification and locations set out in the strategy and these shall be maintained thereafter in accordance with the strategy. Under no circumstances should any other external lighting be installed without prior consent from the local planning authority.

*Reason: To ensure that bats are not adversely affected by the development and the proposal has an acceptable impact on amenity.*

19. No ground preparation including vegetation clearance shall commence until a licence for development works affecting great crested newts has been obtained from the Statutory Nature Conservation Organisation (Natural England) and a copy has been submitted to the local planning authority. Thereafter mitigation measures approved in the licence shall be maintained in accordance with the approved details. Should conditions at the site for great crested newts change and / or the applicant conclude that a licence for development works affecting great crested newts is not required the applicant is to submit a report to the council detailing the reasons for this assessment and this report is to be approved in writing by the local planning authority prior to commencement of works.

Reason: *To ensure that great crested newts, a material consideration, are not adversely affected by the development.*

20. The development hereby approved shall be carried out in full accordance with the Reptile Mitigation Strategy given in Section 5 of the submitted Reptile Survey Report and Mitigation Strategy (Hankinson Duckett, ref: 973.1, January 2021) unless otherwise agreed in writing by the council.

Reason: *To ensure that reptiles, protected and priority species (as per the NPPF), are not adversely affected by the proposals.*

#### Public Rights of Way

21. Prior the commencement of the development hereby approved, details of the surfacing, sign posts and paths of the public right of way shall be submitted to and approved in writing by the Local Planning Authority. The details thereby agreed shall be fully implemented prior to the occupation of the hotel and at no point shall the right of way be obstructed or used for parking/storage of materials.

Reason: *to ensure public access in maintained and not detrimentally impacted.*

#### Sustainable design and construction

22. The hotel building hereby approved shall meet BREEAM Very Good standard unless otherwise agreed in writing by the Local Planning Authority.

Reason: *Reduce energy consumption and mitigate climate change.*

#### Informatives:

1. The applicant is reminded that this approval is granted subject to conditions which must be complied with prior to the development starting on site. Commencement of the development without complying with the pre-commencement requirements may be outside the terms of this permission and liable to enforcement action. The information required should be formally submitted to the Council for consideration with the relevant fee. Once the details have been approved in writing the development should be carried out only in accordance with those details. If this is not clear please contact the case officer to discuss.
2. This permission should be read in conjunction with the legal agreement under section 106 of the Town and Country Planning Act, the obligations in which relate to this development.
3. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received.

<b>PLANNING HISTORY</b>		
<b>Application Number</b>	<b>Proposal</b>	<b>Decision</b>
210233	Full application for the proposed erection of a Greenkeepers building, 2no. water storage tanks, with irrigation plant, service yard, new access from Evendons Lane, boundary fencing, associated landscaping and car parking.	Approved: 24 June 2021

193394	Full application for the proposed erection of 4 no. buildings to provide hotel accommodation, a function suite, a health club and spa with ancillary facilities; a single storey extension and refurbishment of existing clubhouse including one replacement residential flat; erection of ancillary energy and maintenance building with one additional residential flat; and Greenkeepers compound, plus associated plant, car parking and landscaping.	Application Withdrawn: 02 June 2020
F/2011/0102	Proposed erection of single storey rear extensions to club house and functions building.	Approve: 29 March 2011
VAR/2007/1085	Proposed relaxation of 09 of consent 38836 to allow for extended hours up to midnight Sunday to Thursday and 1.00 am Friday and Saturday in line with new Alcohol licence times.	Approve: 03 July 2007
F/2005/6440	Proposed construction of a new teeing area on hole 7. Removal of 2 existing bunkers and construction of 2 new bunkers on hole 7. Construction of a new teeing area on hole 14. Raising of land for proposed tees.	Refused: 25 January 2006
F/2000/2840	Proposed extension to clubhouse and erection of health and fitness club.	Withdrawn: 27 April 2001

<b>For Commercial</b>	
Site Area:	3.54 Hectares
Previous land use(s) and floorspace(s):	Golf Course. Existing Clubhouse: 949sqm. Maintenance compound: 300sqm.
Proposed floorspace of each use:	Hotel & restaurant: 3154sqm. Clubhouse: 2187sqm.
Change in floorspace:	+ 4392sqm
Existing jobs (full time equivalent):	45
Number of jobs created (full time equivalent):	40
Existing parking spaces:	110
Proposed parking spaces:	214

<b>CONSULTATION RESPONSES</b>	
Environment Agency	Response advising they do not wish to be consulted.
SEE Power Distribution	Standing advice.
Thames Water	No objection.

SGN	Standing advice
WBC Biodiversity	Further information required.
WBC Economic Prosperity and Place	Employment Skills Plan required
WBC Drainage	No objection subject to conditions
WBC Environmental Health	No objection subject to conditions.
WBC Highways	Further information required.
WBC Tree & Landscape	Objection.
WBC Public Rights of Way	No objection subject to conditions.
WBC Cleaner and Greener	No objection subject to conditions.
Berkshire Archaeology	No objection subject to a condition.

## REPRESENTATIONS

### **Town/Parish Council:**

#### Finchampstead Parish Council:

In principle, the Parish Council has no objections to the application but have made the following comments:

- Traffic should be able to enter and exit this site from Finchampstead Rd simultaneously so there is no build up on the B3016.
- The public footpath should be upgraded

#### Wokingham Town Council

The Town Council support the application but have the following comments that they hope will be considered to improve the application.

- Solar Panels should be included on the roofs.
- There should be electrical charging points for vehicles.
- Pedestrian and cycle access should be approved.
- Walking from the bus stop is dangerous.
- There needs to be improvement to public rights of way.

### **Local Members:**

#### Cllr Kerr

In support of the application in principle as it ensures survival of a local business and creates new employment opportunities. There following issues/improvements are however raised:

- The proposal should utilise carbon neutral and renewable energy technology.
- Insufficient electric car charging points.
- There should be a substantial biodiversity net gain.
- The building could achieve a higher BREAAAM rating.
- The applicant should consider modular building techniques.
- Accessibility by sustainable modes needs to be considered.
- There could be improvements to the public right of way.
- A Noise Assessment needs to be carried out.

- The impact of lighting needs to be considered so that it does not impact amenity and wildlife.
- No statement of community involvement.

**Neighbours:** 15 Neighbour comments received.

11 letters in support of the application which are summarised below:

- It will enhance the area.
- It is not intrusive.
- It offers local employment, keeps the green space of the golf course and provides the local community with a new dining facility.
- The plans appear to be thoughtful and sympathetic to their surroundings.

4 letters objections to the application which are summarised below:

- Question the need for a new hotel (*Officer note: this is not a material planning consideration*)
- Increase in traffic. (*See Para 34*)
- No noise assessment. (*See para 29 – 32*)
- Increase in noise pollution. (*See para 29 – 32*)
- Loss of trees. (*See para 23 – 27*)
- Impact of lighting. (*See para 45*)
- No public consultation carried out. (*Officer note: The application was advertised correctly*)
- The proposal is much larger than the extant permission for a hotel of 13 bedrooms. (*The impact of the proposed hotel is considered throughout the report*)
- There is a lack of capacity for membership of the club and the development will exacerbate this. (*Officer note: this is not a material planning consideration*)
- Insufficient car parking. (*See para 35*)
- The footpath should be maintained and enhanced (*See para 39 – 40*)

#### **APPLICANTS POINTS**

The proposals are being advanced to secure the long-term viability of golf club which provides a valuable community asset not just to golfers but also the wider community who use the local footpath network that passes through the golf course. The new facilities, which will be open to the public, will create a range of employment opportunities and will bring wider benefits to the local economy.

The revised proposals have been informed by the site wide landscape strategy with the layout seeking to protect and enhance the existing character and appearance of the site and locate any new built form where it would have the least impact on existing mature landscaping and ecological features, such as ponds and more valuable habitat areas.

In architectural terms, the high-quality extension to the clubhouse remains subservient to the existing building but delivers the targeted enhancements to Members' facilities as well as the new restaurant.

The freestanding venue building is sited away from the clubhouse and adopts an agricultural appearance to respect the wider rural setting. The building and its parking have been set within existing clearings so minimise the impact on the landscape and



habitat areas. Detailed Landscape and Ecological strategies promote both mitigation and enhancement proposals that will result in a biodiversity net gain. Both new buildings are oriented to take advantage of sunlight and views across the local landscape.

All the materials used in construction will be of the highest quality and, where possible, will be sustainably sourced. The detailed design will adopt a fabric first approach towards energy consumption and will target a Very Good BREEAM rating.

All necessary technical assessments have been undertaken by specialist consultants and are submitted in support of the planning applications. The proposals have been assessed against the relevant Development Plan policies and national planning policy provided by the NPPF. It is concluded that in accordance with Section 38(6) of the Planning & Compulsory Purchase Act 2004 and the NPPF that planning permission should be granted for the development proposals which are of the highest quality.

## **PLANNING POLICY**

National Policy	<b>NPPF</b>	National Planning Policy Framework
Adopted Core Strategy DPD 2010	<b>CP1</b>	Sustainable Development
	<b>CP2</b>	Inclusive Communities
	<b>CP3</b>	General Principles for Development
	<b>CP6</b>	Managing Travel Demand
	<b>CP7</b>	Biodiversity
	<b>CP9</b>	Scale and Location of Development Proposals
	<b>CP11</b>	Proposals outside development limits (including countryside)
	<b>CP13</b>	Town Centres and Shopping
Adopted Managing Development Delivery Local Plan 2014	<b>CC01</b>	Presumption in Favour of Sustainable Development
	<b>CC03</b>	Green Infrastructure, Trees and Landscaping
	<b>CC04</b>	Sustainable Design and Construction
	<b>CC06</b>	Noise
	<b>CC07</b>	Parking
	<b>CC09</b>	Development and Flood Risk (from all sources)
	<b>CC10</b>	Sustainable Drainage
	<b>TB12</b>	Employment Skills Plan
	<b>TB15</b>	Major Town, and Small Town/District Centre Development
	<b>TB16</b>	Development for Town Centre Uses
	<b>TB20</b>	Service Arrangements and Deliveries for Employment and Retail Use
	<b>TB21</b>	Landscape Character

	<b>TB23</b>	Biodiversity and Development
	<b>TB25</b>	Archaeology
Supplementary Planning Documents (SPD)	<b>BDG</b>	Borough Design Guide

<b>PLANNING ISSUES</b>
------------------------

**Description of Development:**

1. The application is for the erection a hotel with associated facilities that will be linked to the existing Sand Martins golf course. The proposal also includes extending the existing clubhouse along with associated parking areas, footpaths and soft landscaping.
2. The Hotel Building will comprise 39no. bedrooms, function rooms, kitchen and staff room, with car parking, servicing and an electrical sub-station. The building will be two storeys in height with a pitch roof that would measure 5.5 metres to eaves level and approximately 13 metres to the highest point. Other sections of the roof will be appreciable lower. The building will be 46m long and approximately 70m wide.
3. The extension to the existing clubhouse will be no higher than the existing roof and would measure 8.3m in height. There is a drop in levels across the site and the extension would utilise this to create a new lower ground floor.

**Principle of Development:**

4. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan (MDD) Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay unless material considerations indicate otherwise.
5. The application site is within the countryside. Policy CP11 of the Core Strategy states that commercial development will not normally be permitted unless:
  - ‘1) It contributes to diverse and sustainable rural enterprises within the borough, or in the case of other countryside based enterprises and activities, it contributes and/or promotes recreation in, and enjoyment of, the countryside; and*
  - 2) It does not lead to excessive encroachment or expansion of development away from the original buildings;’*
  - 3) It is contained within suitably located buildings which are appropriate for conversion, or in the case of replacement buildings would bring about environmental improvement;*
6. The golf course is in situ and it is considered that the proposal would met criterion one of CP11 in that it would contribute to a sustainable enterprise in the countryside. The determination then turns on whether the development would result in ‘excessive encroachment or expansion of development away from the original buildings’. This

issue discussed further in the 'Character of the Area and Landscape' section of this report. The proposal would technically conflict with the third criterion outlined as the new hotel would not be a replacement building.

7. In 1993 planning permission was granted at the site for: '*Change of use of land to golf course and change of use of hotel to clubhouse and extension to proposed clubhouse and erection of hotel*'. The golf course and clubhouse were delivered in accordance with the permission but the 13 bedroom hotel was never constructed. A Lawful Development Certificate issued in 2015 (reference 152614) established that the permission was implemented and remains extant. Therefore, regardless of whether the proposals represent a 'diverse and sustainable rural enterprise' the principle of a hotel in this location is already established, although the current proposal is appreciably larger in scale.
8. The site is located outside of any designated town/district centre and therefore policy TB16 applies which requires a Sequential Test for all proposals for '*town centre*' uses outside of the borough's designated town/district centres. This is to ensure that the vitality and viability of the Borough's town/district centres is not compromised by new town centre uses outside of these areas.
9. The proposal meets the Sequential Test for the principal reason that the hotel development seeks to complement the existing golf course use, which by its very nature cannot be situated in a town centre location. The applicant has identified other hotel and wedding venues within a 5 mile radius of the site and considers that the main competitors would be other countryside and out of centre based enterprises rather than town centre hotels, which in general focus on accommodation rather than as a venue or conference facilities. The applicant further states that the type of development proposed offers a notably different experience to hotels, entertainment and venue uses within the town centre and would not directly compete with them, preserving the vitality and viability of the town centre.
10. The Planning Policy Team have considered the application and have not raised any objections to the application:

*'the principle of the proposed development broadly accords with the current development plan and national policy, the proposals appear consistent with the NPPF's support for the expansion of all types of business in rural areas. On that basis, there would be no objection to the current application provided there are no unacceptable impacts on the character of the countryside.'*

### **Character of the Area and Landscape:**

#### Landscape Character Assessment:

11. The site is located in Wokingham District Landscape Character Area (WDLCA) J2 'Arborfield Cross and Barkham Settled and Farmed Clay', which is a large area of rural farmland interspersed with a fairly dense network of mixed traditional and modern settlements. It is described as a landscape of moderate quality. This is due to the combination of moderate landscape character and condition due to some notable features such as the wide range of habitats. There is a moderate sensitivity to the landscape where most characteristics are valued at the local scale of importance.

12. The western boundary of the character area follows the transition between sands to clay, as well as the edge of the wooded areas. The character area attracts a lot of recreation included within this are golf courses which occupy large areas of land by definition.

### Design

13. The extension to the existing clubhouse will be a subservient addition to the building. The two storey section will have a design and form that ties into the existing traditional character of the building. The single storey element and new lower ground floor will have a modern design and this compliments the traditional features of the building.
14. The design of the hotel building is contextually appropriate for the site, mixing traditional and contemporary elements. The existing clubhouse was originally the main farmhouse when site was in agricultural use. Historic records show a number of pitch roof barns around the main building, which have been long since demolished. The design of the hotel building utilises this historical context by incorporating traditional design features from agricultural buildings and farmyards such as pitch roofs, courtyard layout, brick and timber cladding. The design also blends this with contemporary characteristics such as large banks of glazing and simple geometric detailing.
15. The main road into the site will remain tarmac but the new tree lined avenue and parking bays will have a gravel finish. The footpath that runs through the site, and to the west, will remain the same and topped with gravel where appropriate. The soft landscaping throughout the site will retain the structural elements of the planting and trees. Areas around the building will be more manicured but will still incorporate more natural elements such as woodland glades, areas of wildflowers and trees to reinforce the existing woodland.
16. The overall design approach is considered to appropriate for the context of the site. The impact of the development on the landscape is considered in the following section.

### Landscape impact

17. The proposed development will have an impact on the landscape and the council's Tree and Landscape officer has objected on this basis. The applicant's Landscape and Visual Impact Assessment (LVIA) concludes however that the effect on the landscape would be minor and landscape mitigation would reduce this further and enhance some aspects of the character and appearance of the area. Any impact would be very localised and would not affect any distant views.
18. Breaking down the effect on the landscape, the impact of the proposed extension to the clubhouse will be negligible. As stated, it will be a subservient feature to the building and will retain its overall character. The clubhouse extension will be partially located on areas of existing hard surfacing and it will not encroach significantly beyond the form of the existing building.
19. The hotel building will be broadly located in an existing clearing in the landscape, which is currently used as an overflow car park. There will be a loss of planting and trees but the main structural planting around the periphery of this area will be retained and reinforced with additional landscaping.

20. The hard surfacing and carpark areas will extend beyond the existing layout. They will be mainly located in existing open areas but there will be some a clearance of planting and trees to facilitate this. The impact of the parking areas would be partially offset by the relocation of the existing maintenance area which was permitted under the application ref: 210233.
21. The site is an existing golf course and the proposal development is located in areas that are already open and/or have been previous developed. The experience from the public footpath would change for the section that runs past the clubhouse and carpark to a more urbanised one, but the enhanced landscape management of this area would have benefits by ensuring the maintenance of the planting along the Public Right of Way, which is overgrown and poorly maintained in areas.
22. Overall, whilst there would be a landscape impact, this would be at the lesser end of the spectrum due to the context of the site and the immediate area being a functional golf course with associate development and maintenance areas. In addition, there would also be mitigation in form of additional planting and landscaping. This is weighed up in the planning balance section of this report.

### Trees

23. Arboricultural information has been submitted with the application which concludes that the impact would be of low magnitude. It states that a total of 58 trees would be removed along with 6 groups of trees and that no category A or veteran/ancient trees would be removed.
24. The council's Tree and Landscape officer has objected due to the loss of trees on the site, advising there will be short to medium term harm.
25. The applicant states that at face value it appears that a significant number of trees are being removed but with a closer look, virtually all of them are poor quality, semi-mature or younger, away from the public realm, not making a significant contribution to the landscape or green infrastructure, or a combination of these. None of the main arboricultural features of the site would be removed and there would only be a minor alteration to the overall arboricultural character of the site.
26. The loss of trees would be partially mitigated by replacement tree planting shown on the proposed Landscape Master Plan. The mitigating planting includes reinforcing the tree planting along the public right of way to marinating and enhance the tree 'tunnel' effect; new planting in place of the existing maintenance facility; a line of new trees will be planted along the western elevation of the venue. The Design and Access Statement advises that new trees would far exceed the trees removed, although the exact number of replacement trees has not been qualified.
27. Overall, the loss of trees contributes to the landscape impact of the proposal, but this will be mitigated by new tree planting. The harm would be short and medium term as new planting establishes and new trees mature. It is agreed that the main arboricultural features of the site would be retained and wooded areas would be reinforced by new trees.

## Summary

28. In conclusion, the proposed development would result in some negative landscape impacts by reason of the erection of new buildings, development within the countryside and the loss trees & vegetation. This would however be mitigated by significant levels of new planting, trees and landscape management. Condition 5 recommends a Landscape Management Plan to ensure a long-term landscape strategy for the site. This impact will be weighed in the planning balance and conclusion section of this report.

### **Residential Amenities:**

#### Noise

29. The application includes facilities, such as new function rooms, that are likely to generate noise. The Council's Environmental Health Officer has raised no objection to the proposal given the locations of the buildings and new car parks being approximately 150m away from neighbouring properties.
30. The applicant has not been able to provide a noise assessment due to Covid 19 restrictions and the difficulty in establishing baseline noise conditions. The supporting information states they will '*seek to maximise air tightness, optimise wall, ceiling and roof insulation and if necessary introduce acoustic sound reducing glass to reduce transference of noise between floors and to the outside of the building*'. The council's Environmental Health Officer has accepted this position and advised that given the distance from nearby houses, they are satisfied that condition 13 requiring a Noise Impact Assessment is appropriate in this instance.
31. Noise from externally mounted plant (e.g. for air conditioning and refrigeration) could have a detrimental impact on residential amenity without suitable noise mitigation in place. The application supporting information states that specify plant and equipment to minimise acoustic disruption in accordance with BS4142:2014 and local authority requirements. The council's Environmental Health Officer has raised no objection regarding noise from plant and machinery and has recommended condition 14.
32. A Construction Environmental Management Plan (CEMP) is required by recommend condition 8 to reduce the impact on nearby properties during construction.

#### Overbearingness, overshadowing, privacy

33. The proposed built form of the hotel block, clubhouse extension and car parks and landscaping would be located approximately 150m from the nearest residential property. There would be intervening features such as trees, vegetation and changes in landform that would screen the majority of the built form from neighbouring houses. The proposed development would not have a detrimental impact on neighbouring amenity by reason of overbearingness, overshadowing or loss of privacy.

### **Access and Movement:**

34. The proposed development would have an acceptable impact on highway safety. The existing vehicle access off Finchampstead Road will be used and this is sufficiently wide and has acceptable sight lines. The development would have a negligible impact

on traffic and Finchampstead Road has adequate capacity. The council's Highway Engineer has raised no objections on highway safety grounds.

35. To meet the council's parking requirements 164 spaces are required and the proposal would meet this, providing 214 parking spaces. These include disabled parking space and 22 electric charging points (10%). Cycle parking is also proposed. Details of the parking layout are required by conditions 9 - 11.
36. The site is located in an area known for its poor accessibility and sustainable transport options. There would be limited opportunities for guest and visitors to access the site via public transport. This impact does however go hand in hand with facilitating the growth of rural enterprises.
37. As part of the application a Travel Plan will be produced setting out ways to sustainable transport can be maximised and this is secured by condition 12.
38. The original application for the golf course granted in 1993 did include a hotel for 13 rooms. Whilst this part of the proposal was never implemented, there is an extant permission for a hotel on the site, although at a much smaller scale than the proposal. Notwithstanding this fallback position, the application has been assessed on its individual merits to have an acceptable impact on highway safety.

#### **Public Rights of Way:**

39. There are several rights of way across the site. Footpath 27 goes directly through the development area. The proposal does not seek to divert this footpath but there will be changes to it as a result of the development. The council's Right of Way officer has not objected to the proposal and has recommended condition 21 ensuring that footpath is properly maintained and not obstructed.
40. Whilst there will be crossing points with the access road, vehicle speeds would be low and there would be good visibility for pedestrians and drivers. The landscaping proposed would result in a good public realm for the users of the path.

#### **Flooding and Drainage:**

41. The site is Flood Zone 1 where the risk of flooding from rivers is low. There are areas at risk from surface water flooding on the site and on the surrounding golf course.
42. A Flood Risk Assessment (FRA) has been submitted which details the surface water from the proposed development will discharge into existing into the network of existing ditches and ponds located on the site, the same as the existing surface water drainage.
43. The council's Drainage Engineer has reviewed the proposal and recommended approval subject to recommended condition 7.

#### **Ecology:**

44. The application is supported by an Ecological Appraisal report which covers an initial overview of the site and consideration of some protected species and species of principal importance.

45. The application site has moderate foraging potential for bats. There was no evidence of bat roosts in the clubhouse although the submitted Bat Survey identified that the building has modest potential for bat roosts. The council's Ecologist has recommended condition 17 to ensure the protection of bats during construction. A lighting strategy to protect bat habitats in perpetuity is also recommended by condition 18.
46. The long-term conservation status of the Great Crested Newts can be maintained (or improved) through compensatory habitat creation or enhancement across the larger golf course site. There are a number of ponds on site that tested negative for Great Crested Newts but which have potential to support the species in the long run. The Applicant's Great Crested Newt report does recommend enhancement across the wider site and conditions 19 is recommended to secure the protection of Great Crested Newts.
47. Condition 20 is recommended to ensure the Applicant's Reptile Mitigation Strategy is implemented in full. Additional surveys for Dormice and Badgers have been submitted and the council's Ecologist is satisfied that the development will not detrimentally impact these species.
48. To be confident of a biodiversity net gain as per paragraph 170 of the NPPF with local policies CP7 and TB23, condition 16 is recommended seeking submission and approval of a long-term management plan for the site, capable of providing a 10% habitat net gain, and applying the recommendations given in the Ecological Appraisal.

#### **Sustainable Design/Construction:**

49. The application is supported by a sustainability statement. The venue building will be designed and built to target a BREEAM 'Very Good' rating. The hotel building has been designed to utilise solar gain and opportunities for low and renewable energy technologies have been identified.
50. A BREEAM assessment is conducted in three stages and this application is supported by the first stage called a pre-assessment which demonstrates the rating that could be achieved. The second stage, known as the Design Stage Assessment, will set out in greater detail how the very good rating will be achieved. The final stage called Post Construction Review will confirm the BREEAM rating achieved. Condition 22 is recommended to ensure the building achieves a BREEAM Very Good rating.

#### **Archaeology:**

51. The site is within an area of archaeological and historic interest. The existing Club House was formerly the farmhouse of Evendons Farm, and is itself a replacement of an earlier farmhouse sited a little to the north of the existing Club House. Evendons Farm was formerly the manor of Evendons, first mentioned in the early 14<sup>th</sup> century as part of the Bishop of Salisbury's manor of Sonning.
52. Berkshire Archaeology have recommended approval subject to a condition 6 requiring a program of archaeological work to mitigate the impacts of the development. The emphasis of the program of archaeological work should be on identifying if any buried remains of the original Evendons manor house or earlier, medieval, structures and associated features survive.



## Employment Skills Plan:

53. Policy TB12 of the Wokingham Borough Council MDD, requires planning applications for all major development (both commercial and residential) in Wokingham Borough to submit an employment skills plan (ESP) which details how the proposal accords opportunities for training, apprenticeships or other vocational initiatives.
54. The applicant has agreed to enter into a legal agreement securing an Employment Skill plan.
55. If for any reason the applicants/owners bound by the planning obligation is unable to deliver the plan (or elects to pay the ES Contribution) as set out above, they can provide the ES Contribution in lieu. This is based on the cost to WBC supporting the employment outcomes of the plan. The cost to oversee and support each employment target is £3,750. Therefore, a total of £15,000 (£3,750 x 4) would be required in lieu of an ESP on this application. Payment of this sum would be required before commencement on site.

## CONCLUSION

56. Considering the planning balance of the application, the benefits of the proposal outweigh the harm and the development is considered to comply with the development plan as a whole and the NPPF. For large scale major development, it is not uncommon to have policies with competing aims that must be weighed against each other.
57. The proposal development would have economic and social benefits by providing enhancing facilities at the existing golf course and facilitation the viability and growth of a local employer. The proposal would create 40 full time equivalent jobs. The applicant has proposed a biodiversity net gain for the site, and this is secured by condition 16.
58. There would be some landscape harm as the site is within the countryside, but this would not be significant due to the context of the site being an existing golf course and close to the envelope of existing development. This impact would also be mitigated by the proposed landscaping and tree planting. The site is poorly accessible but sustainable transport options will be promoted by a Travel Plan (condition 12).
59. Other material considerations such as highway safety, neighbour impacts and drainage hold neutral weight in the planning balance.
60. It is noteworthy that there have been 11 letters of support for the development and only 4 letters of objection.
61. Overall, the benefits of the application clearly outweigh the harm and therefore complies with the development plan when considered as a whole. The recommendation is to approve the application subject to a legal agreement and conditions, the requirements of which are set out at the beginning of this report.

<b>The Public Sector Equality Duty (Equality Act 2010)</b>
--

<i>In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and</i>
--

*maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.*

PLANNING REF : 210179  
PROPERTY ADDRESS : Town Hall Market Place  
: Wokingham  
: RG40 1AS  
SUBMITTED BY : The Wokingham Town Council P&T Committee  
DATE SUBMITTED : 10/03/2021

COMMENTS:

The Committee Support the application but have the following comments that they hope will be considered to improve the application.

?Include solar panels on the roofs. This seems like a missed opportunity.

?The amount of electrical charging points is low when you think to the future and targets for Carbon Neutral.

?Accessibility is only catered for by car. There are no pedestrian or cycleway access. Walking from the bus stop is dangerous.

?There needs to be improvement to public rights of way (CC03) .

This page is intentionally left blank

Mr Mark Croucher  
Principal Planning Officer Team Manager  
Wokingham Borough Council  
PO Box 157 , Shute End  
Wokingham RG40 1WR

March 31<sup>st</sup> 2021

**Application ref 210179 – Sand Martins Golf Club, Finchampstead Rd**

Dear Mark

In principle, the Parish Council have no objections to application 210179, however traffic should be able to enter and exit this site from Finchampstead Rd simultaneously so there is no build up on the B3016. This may entail re-engineering the current entrance and exit.

Sand Martins Golf Club and its location is familiar to many residents of the parish, both with regards to golf and being a social venue, but also because it occupies a highly valued area of local green space and contains a number of Rights of Way connecting Finchampstead with Wokingham Town Centre.

In very many local public surveys, including for the emerging Finchampstead Neighbourhood Development Plan; the emerging Local Cycling and Walking Infrastructure Plan and the current Wokingham Borough Council Rights of Way Improvement Plan; - the provision of a safe cycling route between Finchampstead and Wokingham town centre is a consistently high priority.

One of the best options to help achieve this would be an upgrade of the current Public Footpath which runs parallel to Evendons Lane along the northern boundary of the golf course. Improving this to Bridle Path status would provide a vital alternative to cycling along the narrow rural part of Evendons Lane, offering a safe family friendly route from the byway of Nashgrove Lane to the more urban part of Evendons Lane.

There are a number of equestrian centres to the north of Evendons Lane; the upgrade of this Footpath to Bridle Path would doubtless be of great value to local riders, especially in the event of any increased traffic in Evendons Lane as a result of these development proposals.

Even a simple agreement to upgrade the RoW status to a Bridle Way would be of enormous benefit to the local Borough, Town and Parish Councils, who could then work together on any physical upgrades required.

Regarding the potential positive enhancement to the plans, we believe that such an offer would help meet the requirements of the Wokingham Borough Council Core Strategy, which states that;

Policy CP1 (Sustainable Development) '*...the development must demonstrate how they support opportunities for reducing the need to travel, particularly by private car...*'

Policy CP6 (Managing Travel Demand) ‘...*planning permission will be granted for schemes that:*

- a) Provide for sustainable forms of transport to allow choice;*
- c) Improve the existing infrastructure network, including road, rail and public transport, enhance facilities for pedestrians and cyclists, including provision for those with reduced mobility, and other users*

We believe that it could also help mitigate concerns of local residents about the increase in traffic into the golf club as a result of the expanded facilities, by providing an option to reduce other local car journeys through increased provision for safe cycling.

We do believe that such a meaningful upgrade to our local Rights of Way would have little or no impact on the development plans or the overall functioning of Sand Martins Golf Club.

Yours Sincerely,

***Gordon Veitch***

Cllr Gordon Veitch  
Planning Chair.

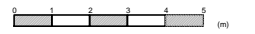
NOTES



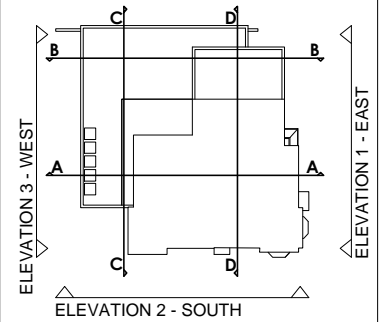
ELEVATION 3 - WEST



ELEVATION 4 - NORTH



ELEVATION 4 - NORTH



05	19/01/21	ISSUED FOR PLANNING	DL
04	13/01/21	REVISED LAYOUTS	DL
03	12/01/21	REVISED LAYOUTS	DL

REV	DATE	DESCRIPTION	DRAWN
-----	------	-------------	-------

CLIENT  
SAND MARTINS GOLF CLUB  
PROJECT  
CLUB HOUSE

DRAWING TITLE  
PROPOSED ELEVATIONS - SHT 2

STATUS  
PLANNING

PROJECT No	DWG TYPE	DWG No	REV
2574	PL	A301	05

SCALE	DATE	DRAWN	CHECKED
1:200@A3	SEPT 20	DL	-

CONTRACTOR TO CHECK SITE DIMENSIONS AND REPORT ANY VARIATIONS OR OMISSIONS TO LEWANDOWSKI ARCHITECTS. THIS DRAWING IS COPYRIGHT OF LEWANDOWSKI ARCHITECTS AND MUST NOT BE REPRODUCED OR USED WITHOUT PERMISSION. DO NOT SCALE FROM THE DRAWING.

1st FLOOR, RAFTS COURT, BROCAS ST, ETON, SL4 6RF.  
T. 01753 620700 F. 01753 620621  
www.lewandowskiarchitects.com

This page is intentionally left blank



NOTES



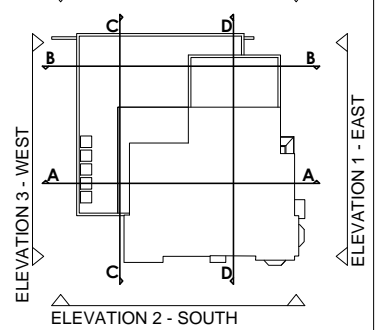
ELEVATION 2 - SOUTH



ELEVATION 1 - EAST



ELEVATION 4 - NORTH



05	19/01/21	ISSUED FOR PLANNING	DL
04	13/01/21	REVISED LAYOUTS	DL
03	12/01/21	REVISED LAYOUTS	DL

REV	DATE	DESCRIPTION	DRAWN
-----	------	-------------	-------

CLIENT  
SAND MARTINS GOLF CLUB  
PROJECT  
CLUB HOUSE

DRAWING TITLE  
PROPOSED ELEVATIONS - SHT 1

STATUS  
PLANNING

PROJECT No	DWG TYPE	DWG No	REV
2574	PL	A300	05

SCALE	DATE	DRAWN	CHECKED
1:200@A3	SEPT 20	DL	-

CONTRACTOR TO CHECK SITE DIMENSIONS AND REPORT ANY VARIATIONS OR OMISSIONS TO LEWANDOWSKI ARCHITECTS. THIS DRAWING IS COPYRIGHT OF LEWANDOWSKI ARCHITECTS AND MUST NOT BE REPRODUCED OR USED WITHOUT PERMISSION. DO NOT SCALE FROM THE DRAWING.  
1st FLOOR, RAFTS COURT, BROCAS ST, ETON, SL4 6RF.  
T. 01753 620700 F. 01753 620621  
www.lewandowskiarchitects.com

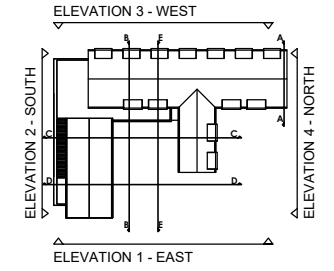
This page is intentionally left blank

✓ ROOF FRL +70.91  
 ✓ ROOF SPACE FFL +66.0  
 ^ FIRST UCL +65.2  
 ✓ FIRST FFL +62.0  
 ^ GROUND UCL +61.2  
 ✓ GROUND FFL +58.0



ELEVATION 3 - WEST

75



✓ ROOF FRL +70.91  
 ✓ ROOF SPACE FFL +66.0  
 ^ FIRST UCL +65.2  
 ✓ FIRST FFL +62.0  
 ^ GROUND UCL +61.2  
 ✓ GROUND FFL +58.0



ELEVATION 4 - NORTH

**Lewandowski Architects**

05	19/01/21	ISSUED FOR PLANNING	DL
04	08/01/21	REVISED LAYOUT	DL

REV	DATE	DESCRIPTION	DRAWN
-----	------	-------------	-------

**CLIENT**  
 SAND MARTINS GOLF CLUB  
**PROJECT**  
 VENUE BUILDING

**DRAWING TITLE**  
 PROPOSED ELEVATIONS SH2 2

<b>STATUS</b> PLANNING			
<b>PROJECT No</b>	<b>DWG TYPE</b>	<b>DWG No</b>	<b>REV</b>
2574	PL	B301	05

<b>SCALE</b>	<b>DATE</b>	<b>DRAWN</b>	<b>CHECKED</b>
1:200@A3	OCT 20	DL	-

CONTRACTOR TO CHECK SITE DIMENSIONS AND REPORT ANY VARIATIONS OR OMISSIONS TO LEWANDOWSKI ARCHITECTS. THIS DRAWING IS COPYRIGHT © OF LEWANDOWSKI ARCHITECTS AND MUST NOT BE REPRODUCED OR USED WITHOUT PERMISSION. DO NOT SCALE FROM THIS DRAWING.  
 1st FLOOR, RAFTS COURT, BROGAS ST, ETON, SL4 6RF.  
 T. 01753 620700 F. 01753 620621  
 www.lewandowskiarchitects.com



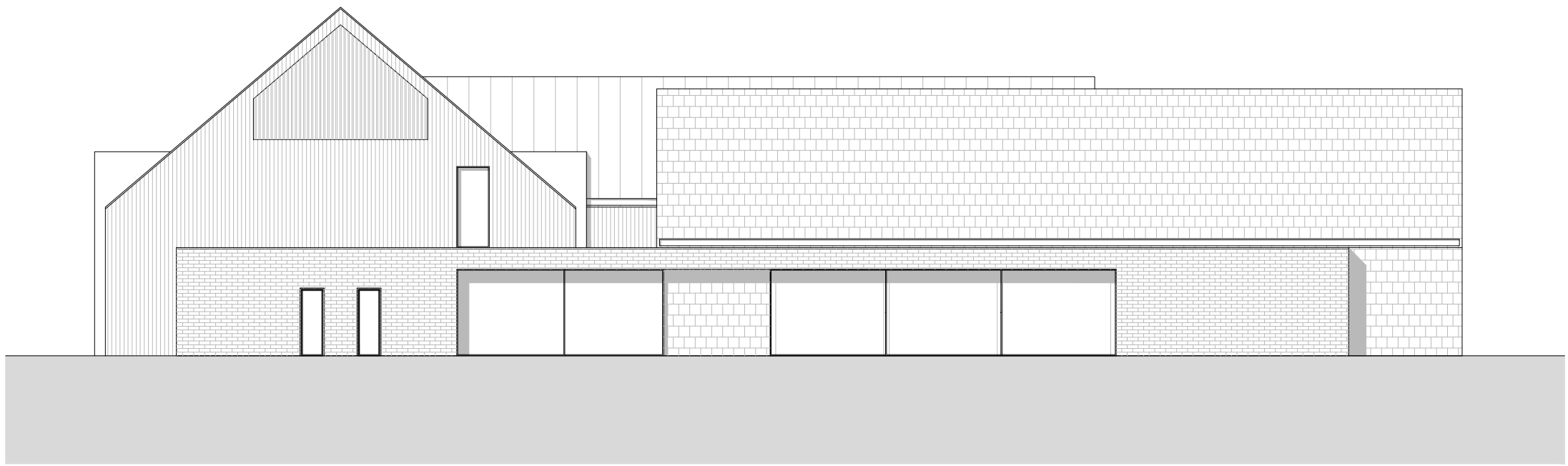
This page is intentionally left blank

ROOF FRL +70.91  
 ROOF FRL +67.874  
 FIRST FFL +62.0  
 GROUND UCL +60.8  
 GROUND FFL +58.0

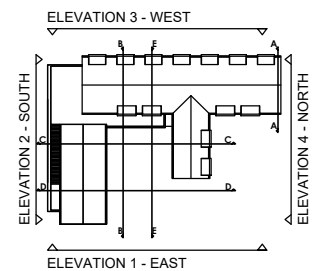


ELEVATION 1 - EAST

ROOF FRL +70.91  
 ROOF SPACE FFL +66.0  
 FIRST UCL +65.2  
 FIRST FFL +62.0  
 GROUND UCL +60.8  
 GROUND FFL +58.0



ELEVATION 2 - SOUTH



**Lewandowski Architects**

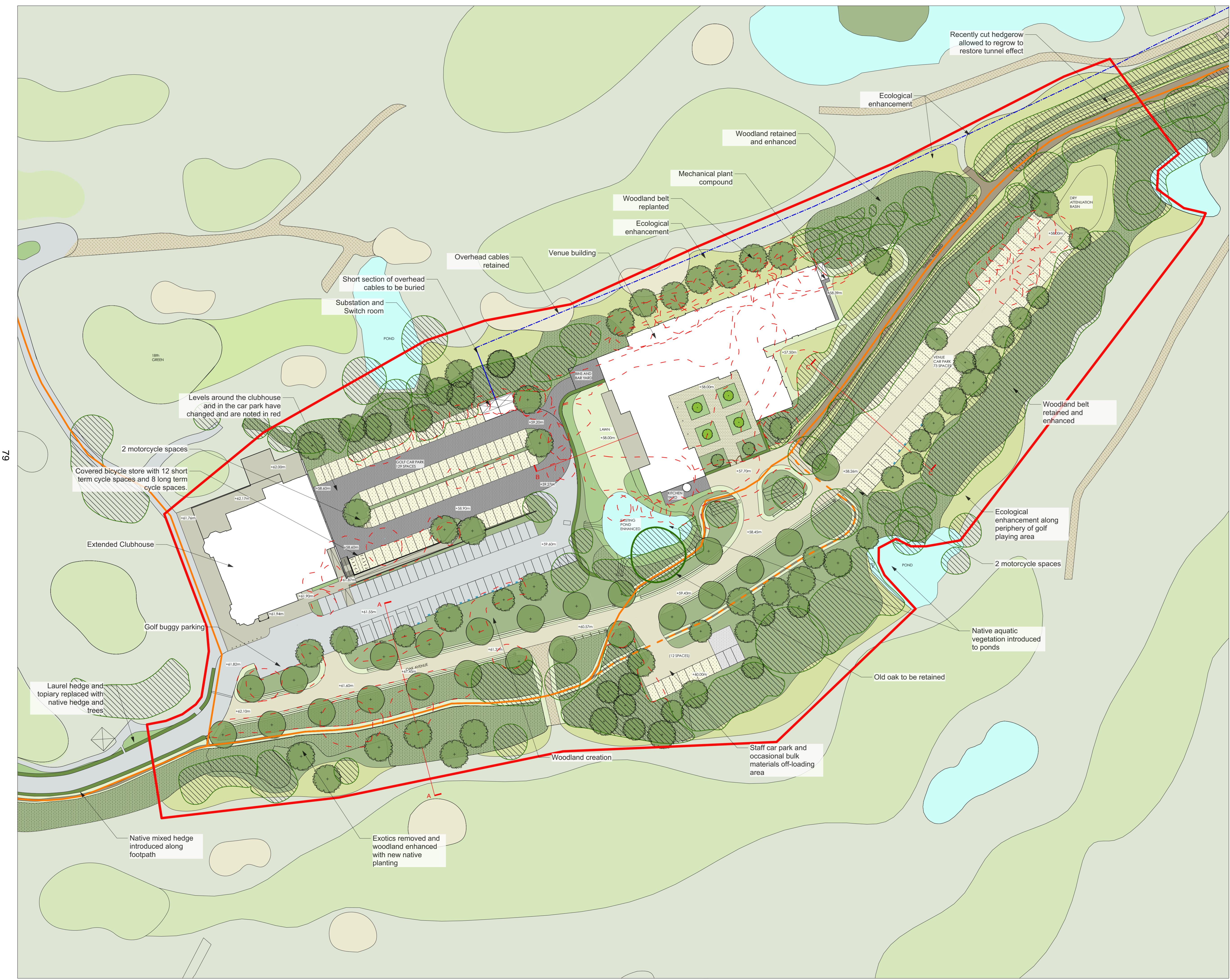
<b>05</b>	19/01/21	ISSUED FOR PLANNING	DL
<b>04</b>	08/01/21	REVISED LAYOUT	DL
<b>REV</b>	<b>DATE</b>	<b>DESCRIPTION</b>	<b>DRAWN</b>
<b>CLIENT</b>			
SAND MARTINS GOLF CLUB			
<b>PROJECT</b>			
VENUE BUILDING			
<b>DRAWING TITLE</b>			
PROPOSED ELEVATIONS SHT 1			
<b>STATUS</b>			
PLANNING			
<b>PROJECT No</b>	<b>DWG TYPE</b>	<b>DWG No</b>	<b>REV</b>
2574	PL	B300	05
<b>SCALE</b>	<b>DATE</b>	<b>DRAWN</b>	<b>CHECKED</b>
1:200@A3	OCT 20	DL	-

CONTRACTOR TO CHECK SITE DIMENSIONS AND REPORT ANY VARIATIONS OR OMISSIONS TO LEWANDOWSKI ARCHITECTS. THIS DRAWING IS COPYRIGHT OF LEWANDOWSKI ARCHITECTS AND MUST NOT BE REPRODUCED OR USED WITHOUT PERMISSION. DO NOT SCALE FROM THE DRAWING.

1st FLOOR, RAFTS COURT, BROCAS ST, ETON, SL4 6RF.  
 T. 01753 620700 F. 01753 620621  
 www.lewandowskiarchitects.com

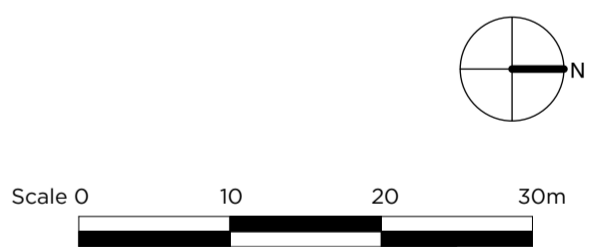


This page is intentionally left blank



- General notes:
1. This drawing is to be read in conjunction with other C&M landscape drawings and specifications.
  2. Any discrepancies between sources of information should be immediately notified to the Landscape Architect for clarification.
  3. Do not scale off this drawing.
  4. All dimensions in mm unless otherwise stated.

- Grass lawn
- Woodland glade / meadow
- Gravel
- Reinforced gravel to parking bays
- Gravel topped tarmac
- Existing gravel path
- Old dirt track retained and top dressed with gravel
- Concrete
- Tarmac
- Permeable tarmac
- Proposed hedge
- Proposed ornamental shrubs
- Proposed tree
- Existing trees retained
- Old oak retained
- Existing trees removed
- Existing native woodland edge / hedgerow species retained
- Proposed native woodland through planting/ management
- Existing pond retained
- Public Right of Way (27W)
- PROW proposed future diversion
- Planning boundary
- Electric vehicle charge points (50% active and 50% passive)



REVISION	DESCRIPTION	DATE	BY
B	Ramp/planting/wall to car park	19.01.21	RZ
A	VB car park/planter/concrete	18.01.21	RZ

**SAND MARTINS GOLF CLUB LTD**

**EXTENDED CLUBHOUSE AND VENUE BUILDING LANDSCAPE PLAN**

**INFORMATION**

SCALE: 1:500@A1

DATE: 15.01.2021

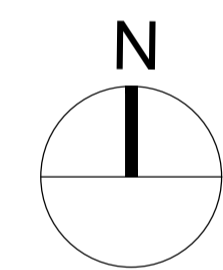
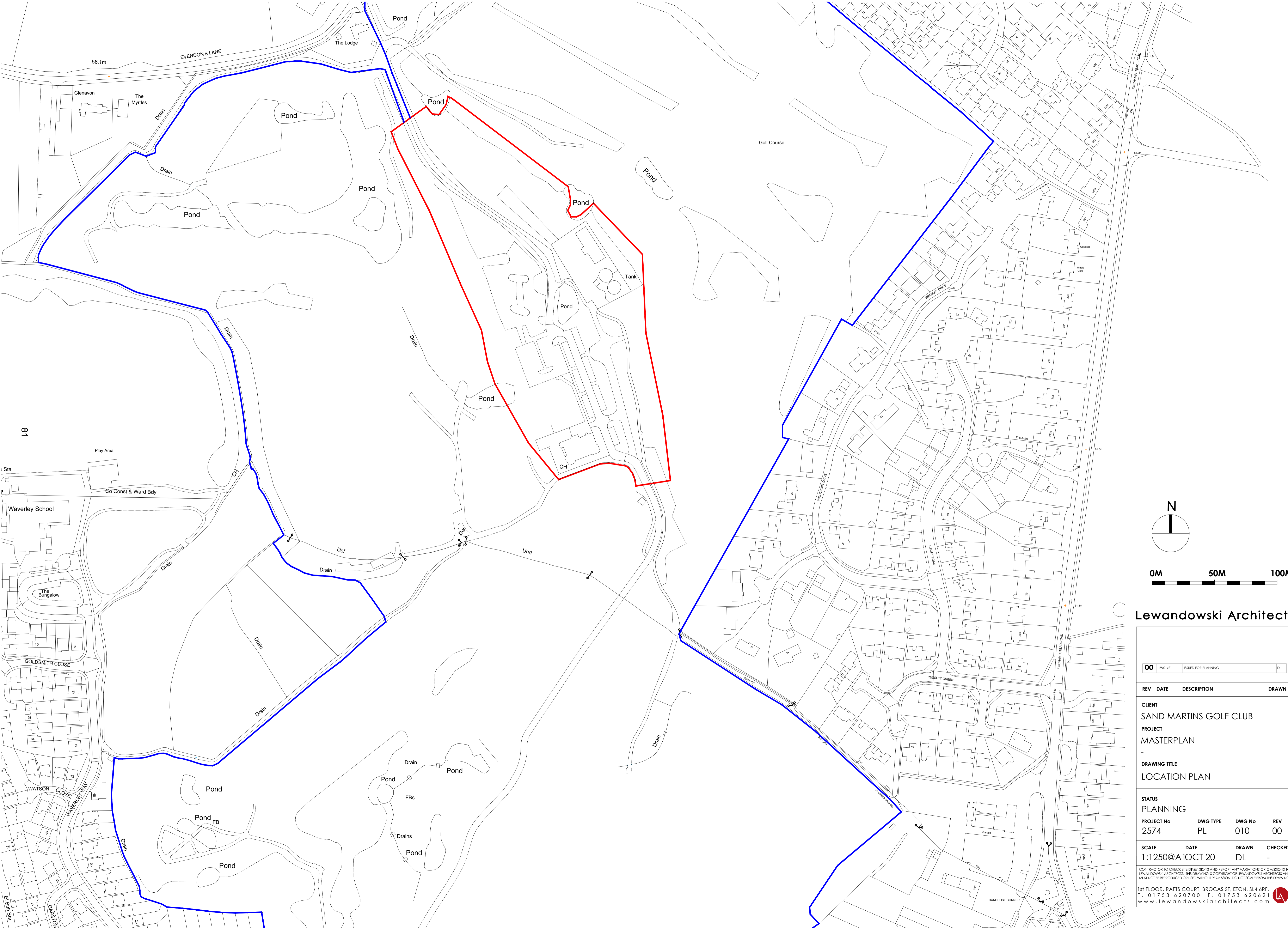
DRAWING NO: 1465. 01. 001

BY: RZ

79

This page is intentionally left blank





Lewandowski Architects

00	19/01/21	ISSUED FOR PLANNING	DL
REV	DATE	DESCRIPTION	DRAWN
CLIENT SAND MARTINS GOLF CLUB			
PROJECT MASTERPLAN			
DRAWING TITLE LOCATION PLAN			
STATUS PLANNING			
PROJECT No	DWG TYPE	DWG No	REV
2574	PL	010	00
SCALE	DATE	DRAWN	CHECKED
1:1250@A1	OCT 20	DL	-
<small>CONTRACTOR TO CHECK SITE DIMENSIONS AND REPORT ANY VARIATIONS OR OMISSIONS TO LEWANDOWSKI ARCHITECTS. THIS DRAWING IS COPYRIGHT OF LEWANDOWSKI ARCHITECTS AND MUST NOT BE REPRODUCED OR USED WITHOUT PERMISSION. DOES NOT SCALE FROM THE DRAWING.</small>			
<small>1st FLOOR, RAFTS COURT, BROCAS ST, ETON, SL4 6RF. T. 01753 620700 F. 01753 620621 www.lewandowskiarchitects.com</small>			



This page is intentionally left blank

# Agenda Item 26.

Application Number	Expiry Date	Parish	Ward
211084	21 May 2021	Wargrave	Remenham, Wargrave and Ruscombe

<b>Applicant</b>	Hare Hatch Sheeplands
<b>Site Address</b>	Hare Hatch Sheeplands, London Road, Twyford RG10 9RS
<b>Proposal</b>	Full Planning application for the proposed change of use from Horticulture use to Exhibition Space (Use Class F1(e)) for the display of Haworthia and associated plants
<b>Type</b>	Full
<b>Officer</b>	Simon Taylor
<b>Reason for determination by committee</b>	Assistant Director directive

<b>FOR CONSIDERATION BY</b>	Planning Committee on Wednesday 11 August 2021
<b>REPORT PREPARED BY</b>	Assistant Director – Place

<b>SUMMARY</b>
<p>Hare Hatch Sheeplands lies on a prominent corner location at the intersection of Bath and London Roads, Hare Hatch and is situated amongst several garden centres that have historically been known as the Floral Mile. It comprises a large collection of greenhouses and buildings that originally comprised a horticultural nursery but also now include a retail nursery (granted temporary permission on appeal), farm shop, café (granted permission on appeal) with outdoor seating, reptile display and temporary events space. A gravel car park and service yard dominate the centre of the site and a residential dwelling with an occupancy condition tied the horticultural use is located in the south western corner. The site is within the Green Belt and Countryside. There is no planning permission for a garden centre.</p> <p>The application seeks to use an existing greenhouse in the south eastern corner for an exhibition space for the storage and display of Haworthia plants to visiting members of the public. It would arrange the display in four geographical regions with information boards. The proposal change of use from horticulture to exhibition space is inappropriate development in the Green Belt and represents an expansion of non-horticultural uses on the site.</p> <p>There were no objections raised by Wargrave Parish Council, the ward member, or internal consultees. As part of the neighbour notification, a total of 75 representations were received in support of the application.</p> <p>On the basis that the Council does not consider the nurturing of plants on a horticultural nursery site to constitute a material change of use, the application is recommended for approval, subject to a temporary permission (Condition 1) and restrictive conditions to prevent the establishment of a general exhibition space (Condition 4).</p>

<b>PLANNING STATUS</b>
<ul style="list-style-type: none"> <li>• Green Belt</li> <li>• Green Route (Bath Road)</li> <li>• Landfill gas consultation zone</li> <li>• Potentially contaminated land consultation zone</li> </ul>

- Radon affected area
- Groundwater zone 3
- Nitrate vulnerable zone (surface water)
- Bat consultation zone
- Non-classified road
- Heathrow Aerodrome consultation zone

## RECOMMENDATION

**That the committee authorise the GRANT OF PLANNING PERMISSION subject to the following conditions and informatives:**

### Conditions

1) Temporary use period

The use hereby permitted shall be discontinued and information boards and any other equipment not related to the growing and nurturing of plants removed from the site on or before 14 March 2023.

*Reason: In granting this permission, the local planning authority has had regard to the very special circumstances of the case, being its location within a horticultural nursery and within the Green Belt. Relevant policy: National Planning Policy Framework Section 13, Core Strategy policies CP1, CP3 and CP12 and Managing Development Delivery Local Plan Policy TB01.*

2) Approved details

This permission is in respect of the red hatched area on the plans numbered HH-ES01 Rev A, HH-ES02 Rev A, and HH-ES03 Rev A, all dated 22 March 2021 and received by the local planning authority on 26 March 2021. The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

*Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.*

3) Hours of use

The greenhouse in which the plants are displayed shall be open to the public only between the hours of 8:30am and 5:30pm on any Monday to Saturday and between the hours of 10:30am and 4:30pm on Sundays

*Reason: In granting this permission, the local planning authority has had regard to the very special circumstances of the case, being its location within a horticultural nursery and within the Green Belt and in the interest of the amenity of the area. Relevant policy: National Planning Policy Framework Section 13, Core Strategy policies CP1, CP3 and CP12 and Managing Development Delivery Local Plan Policy TB01.*

#### 4) Limitations of use

The greenhouse shall be used only for horticulture and the display of Mr Scott's Haworthia plant collection (with any associated information boards) and for no other purpose, including any other display or any other purpose in Class F1 of the Schedule to the Town and Country Planning [Use Classes] Order 1987 (as amended by the Town and Country Planning (Use Classes) (Amendment) (England) Regulations 2020) or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order [with or without modification].

No development (within the definition of s55 of the Town and Country Planning Act 1990) is permitted and no retail sales are permitted

*Reason: In granting this permission, the local planning authority has had regard to the very special circumstances of the case, being its location within a horticultural nursery and within the Green Belt and in the interest of the amenity of the area.*

*Relevant policy: National Planning Policy Framework Section 13, Core Strategy policies CP1, CP3 and CP12 and Managing Development Delivery Local Plan Policy TB01.*

### **Informatives**

#### 1) Advertisement consent

This permission does not convey or imply any approval or consent that may be required for the display of advertisements on the site for which a separate Advertisement Consent application may be required. You should be aware that the display of advertisements without the necessary consent is a criminal offence liable to criminal prosecution proceedings through the courts.

#### 2) Changes to the approved plans

The applicant is reminded that should there be any change from the approved drawings during the build of the development this may require a fresh planning application if the changes differ materially from the approved details. Non-material changes may be formalised by way of an application under s.96A Town and Country Planning Act 1990.

#### 3) Discussion

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of reaching a mutually agreed outcome.

The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

<b>PLANNING HISTORY</b>		
<b>App No.</b>	<b>Description</b>	<b>Decision/Date</b>
39618	Demolition of glasshouses and replacement with polytunnels and barn	Approved 2 September 1993
F/1995/63187	Erection of barn for horticultural use	Approved 27 September 1996
F/1997/66297	Erection of several greenhouses for horticultural use	Approved 3 November 1997
F/2001/5225	Erection of glasshouses and toilet block with office and staff room	Approved 9 January 2002
F/2002/7504	Erection of one detached dwelling	Approved 22 January 2003
F/2003/0195	Construction of basement below the detached dwelling	Refused 5 November 2003
A/04/1136843	Appeal against refusal of F/2003/0195	Upheld 23 July 2004
F/2003/8706	Erection of building for Class A1 use (retail) with a floor area of 195m <sup>2</sup>	Refused 28 April 2003
F/2004/2238	Erection of building of 180m <sup>2</sup> for retailing of pet foods and accessories	Refused 27 August 2004
F/2007/0225	Change of use of barn to farm shop (retail)	Approved 25 May 2007
A/07/2054755	Appeal against Condition 5 of F/2007/0225 (produce is to be within a 10-mile radius)	Upheld 23 April 2008
F/2007/0226	Change of use of display area to a restaurant (156m <sup>2</sup> ) with 80 covers	Approved 23 April 2007
F/2007/1428	Change of use of display area to café/coffee shop with dry goods storage.	Refused 27 July 2007
A/07/2054755	Appeal against refusal of F/2007/1428	Upheld 23 April 2008
A/2007/2038	Retrospective approval for four free standing advertisement signs	Part approved/ refused 17 October 2007
F/2008/0038	Change of use from 2200m <sup>2</sup> floor area of the glasshouses to retail sales and display (A1)	Refused 20 March 2008
F/2008/2295	Extension to farm shop to provide butchery (part retail)	Approved 2 February 2009
A/2008/0444	Two freestanding sign boards (one double sided)	Approved 24 April 2008
F/2008/2766	Conversion of basement in bungalow to one unit of residential accommodation.	Refused 10 March 2009
A/09/2104930	Appeal against refusal of F/2008/2766	Dismissed 2 September 2009
F/2011/0648	Redevelopment of horticultural site including increase in retail space, replacement buildings, revised parking, and landscaping	Refused 19 December 2011
A/12/2171958	Appeal against refusal of F/2011/0648	Withdrawn 7 November 2012
F/2011/2117	Two display conservatories	Refused on 28 November 2011
CLE/2014/1462	Certificate of existing lawful development for sale of retail goods	Refused 31 March 2015
152747	Change of land and building to play area and recreational farm	Declined to determine

<b>PLANNING HISTORY</b>		
<b>App No.</b>	<b>Description</b>	<b>Decision/Date</b>
152748	Change of use of part of existing building to retail	Declined to determine
160677	Certificate of existing lawful development for sale of retail goods	Refused 13 May 2016
171478	Four non-illuminated free-standing boards	Approved 7 July 2017
173316	Temporary CoU of part glasshouse and outdoor area to retail sales	Declined to determine
W/18/3193969	Appeal against non-determination of 173316	Upheld 14 March 2019
172850	CoU of part glasshouse and outdoor area to retail sales	Declined to determine
172161	Variation of F/2008/2295 for use of farm shop as fishmonger as well as butchery	Approved 4 September 2017
191517	Canopy and support struts to farm shop	Refused 5 September 2019
191518	Expansion of café floor area	Refused 10 September 2019
191520	Extension of car park, use of service yard for all uses and mobile dinosaur	Approved 10 September 2019
191519	Use of a greenhouse as a residential timber store	Approved 17 September 2019
192841	Replacement advertising signage	Approved 21 November 2019
192912	Change of use of land for storage of cars	Withdrawn 15 January 2020
192018	CoU of three existing nursery glasshouses into events area relating to existing nursery	Approved 11 March 2020
192841	Two illuminated entrance boards and three illuminated boards	Approved 21 November 2019
201047	Temporary (3 years) change of use to house Quirks' Animal Roadshows Exotic Animals	Approved 23 June 2020
201693	Replacement greenhouse with café kitchen, butcher storage and public toilets	Approved 10 September 2020
201777	Two canopies and AC unit supports to the farm shop and a CoU of outdoor plant storage for use as an outdoor café seating area	Approved 16 September 2020
203533	Five non illuminated banner signs	Approved 9 February 2021
211085	Variation of 192018 to extend temporary permission to 14 March 2024	Pending
211086	Continued use of temporary sales area permitted in 173316 and CoU to include an additional sales area	Pending

<b>SUMMARY INFORMATION</b>	
Site Area	3.1 hectares (Hare Hatch Sheeplands site)
Existing land uses	Horticultural, with retail shop, farm shop, café, reptile display, events space and greenhouse plant growing
Proposed land uses	Inclusion of exhibition space (Class F1(e))

Existing floorspace	Approximately 11,500m <sup>2</sup> (estimated) of indoor greenhouse and building space including retail shop (499m <sup>2</sup> ), farm shop (413m <sup>2</sup> ), café (140m <sup>2</sup> ), reptile display (110m <sup>2</sup> ), events space (1490m <sup>2</sup> ) and greenhouse plant growing (approximately 4060m <sup>2</sup> )
Proposed floorspace	670m <sup>2</sup> of existing greenhouses used
Number of jobs	No new jobs created
Existing parking spaces	201 spaces
Proposed parking spaces	201 spaces

<b>CONSULTATION RESPONSES</b>	
WBC Highways	No objection.
WBC Trees and Landscaping	
WBC Env. Health	No comments received.
WBC Cleaner and Greener	
Natural England	

<b>REPRESENTATIONS</b>	
Wargrave Parish Council	No objection.
Ward Member	Whilst not ward member, Cllr David Hare noted that it would be an excellent resource to display a national collection for the benefit of the local and wider community.
Neighbours	<p>The application was consulted to neighbours from 7-28 April 2021. Submissions were received from the following:</p> <ol style="list-style-type: none"> <li>1) Magnolia, 9 Springfield Place, Twyford RG10 9JG</li> <li>2) 12 Weir Pool Court, Silk Lane, Twyford RG10 9GY</li> <li>3) 12 Hurst Park Road, Twyford RG10 0EY</li> <li>4) 17 Yewhurst Close, Twyford RG10 9PW</li> <li>5) 23 Hurst Park Road, Twyford RG10 0EZ</li> <li>6) 3 Brook Street, Twyford RG10 9NX</li> <li>7) 12 Woodpecker Close, Twyford RG10 0BB</li> <li>8) Fairview, Longfield Road, Twyford RG10 9AT</li> <li>9) 49 Wessex Gardens, Twyford RG10 0BA (x2)</li> <li>10) 60 Wessex Gardens, Twyford RG10 0BA</li> <li>11) Pax Cottage, Byron Road, Twyford RG10 0AE</li> <li>12) 5 New Road, Twyford RG10 9PS</li> <li>13) 47 Colleton Drive, Twyford RG10 0AU</li> <li>14) 9 Paddock Heights, Twyford RG10 0AP (x3)</li> <li>15) 2 Cheviot Drive, Twyford RG10 9QD (x2)</li> <li>16) 19 Thornbers Way, Charvil, RG10 9DW</li> <li>17) 62 The Hawthorns, Charvil RG10 9TS</li> <li>18) 5 Thornbers Way, Charvil RG10 9DW</li> <li>19) Flat 2 157 Butts Hill Road, Woodley RG5 4NX</li> <li>20) 12 Corbett Gardens, Woodley RG5 4JY</li> <li>21) 15 Brandon Avenue, Woodley RG5 4PU</li> <li>22) 14 Manners Road, Woodley RG5 3EA</li> <li>23) East Warren, Warren Road, Woodley RG5 3AR</li> <li>24) 18 Butts Hill Road, Woodley RG5 4NH</li> <li>25) 4 Corby Close, Woodley RG5 4TL</li> <li>26) 23 Telford Crescent, Woodley RG5 4QT</li> </ol>



- 27) 214 Kingfisher Drive, Woodley RG5 3LQ
- 28) 11 Farriers Close, Woodley RG5 3DD
- 29) 196 Kingfisher Drive, Woodley RG5 3LQ
- 30) 84 Loddon Bridge Road, Woodley RG5 4AN
- 31) The Russetts, 6 Autumn Walk, Maidenhead SL6 4ND
- 32) 22 The Croft, Maidenhead SL6 4BA
- 33) 69 Farm Road, Maidenhead SL6 5JB
- 34) 35 Loosen Drive, Maidenhead SL6 3UT
- 35) 62 Gardeners Cottage, Coronation Road, Littlewick Green SL6 3RA
- 36) Mount Farm, Choke Lane, Maidenhead SL6 6PL
- 37) The Old Farmhouse, Upper Culham Road, Cockpole Green RG10 8NT
- 38) 43 Ridgeway, Wargrave RG10 8AS
- 39) 20 Ridgeway, Wargrave RG10 8AS
- 40) 3 Strand Way, Earley RG6 4BU
- 41) Joston, Fowler Close, Earley RG6 7SS
- 42) 33 Ledran Close, Earley RG6 4JF
- 43) 1 Reeds Avenue, Earley RG6 5SP
- 44) 38 The Drive, Earley RG6 1EG
- 45) 16 Rosedale Crescent, Earley RG6 1AS (x2)
- 46) 4 Adwell Drive, Lower Earley RG6 4JY
- 47) Southleigh, Longwater Lane, Wokingham RG40 4NX
- 48) 37 Goodings Green, Wokingham RG40 1SA (x2)
- 49) 93 Hemdean Road, Caversham RG4 7SS (x2)
- 50) 17 Valentine Crescent, Caversham RG4 5JL
- 51) 11 Deans Farm, The Causeway, Caversham RG4 5JZ
- 52) 17 Boston Avenue, Reading RG1 6JU
- 53) 18 Oaklands Road, Bulmershe Road, Reading RG1 5RW (x2)
- 54) 30 Fontwell Drive, Reading RG30 4QR
- 55) 5 Chalcroft Close, Henley on Thames RG9 1QZ
- 56) 18 Nicholas Road, Henley on Thames RFG9 1RB
- 57) Hill House, Milley Lane, Hare Hatch RG10 9TH
- 58) 6 Ouzel Chase, Bracknell RG12 8DU
- 59) 35 Grange Road, Bracknell RG12 2HY
- 60) Houseshoe House, Castle End Road, Ruscombe RG10 9XG
- 61) 7 Walnut Tree Close, Ruscombe RG10 9PF (x3)
- 62) Crantock, 102 London Road, Ruscombe RG10 9HH
- 63) 133 London Road, Ruscombe RG10 9HA
- 64) Lashbrook, Lashbrook Road, Lower Shiplake RG9 3NX
- 65) 6 Gredier Close, Shinfield RG2 9EZ
- 66) 9 Birch Close, Sonning Common RG4 9LE
- 67) 25 Old Bath Road, Sonning RG4 6SY
- 68) Knowl Hill Lodge, Knowl Hill Common RG10 9YD
- 69) 19 Fern Drive, Taplow SL6 0JS
- 70) 92 Broomhill, Cookham Rise SL6 9LQ
- 71) 88 Woodward Close, Winnersh RG41 5UU
- 72) 28 Burnside Road, West Bridgford NG2 7HW
- 73) 42 Orchard Avenue, Addlestone KT15 3EA
- 74) 16 Sandhills Way, Calcott RG31 7PQ (x2)
- 75) The Rt Hon. Theresa May MP, House of Commons

	<p>The submissions were all in support of the proposal and noted the following:</p> <ul style="list-style-type: none"> <li>• Haworthia collection is of local pride and public exhibition is sensible</li> <li>• Haworthia plants require certain climatic conditions and they have preserved in this location</li> <li>• Provides a community service/benefit</li> <li>• Provides an educational role</li> <li>• Valued addition to the area</li> <li>• Provides a community service</li> <li>• Will allow for the national collection to be retained for future generations</li> <li>• Has environmental benefits</li> <li>• Will draw in visitors to a local business</li> <li>• Will complement the garden centre</li> <li>• Will support business growth</li> <li>• There is no harm to the area, including the Green Belt</li> <li>• There is ample room within the site</li> </ul> <p><u>Officer comment:</u> These observations are all noted.</p>
--	--

<b>APPLICANTS POINTS</b>
<p>...the proposed exhibition space for the National Collection and associated plants is not 'inappropriate development' in the Green Belt according to paragraph 146 (d) of the NPPF as an existing permanent and substantial structure will be utilised and there will be little or no impact on the openness of the Green Belt. Nor will there be any impact on the Countryside. The application proposals will however continue to help support an existing rural enterprise. Furthermore, by the nature of the exhibition, it is important that the National Collection is located at Hare Hatch Sheplands given the expertise associated with it and the wider climate change adaptation benefits in gardening, that can be derived through educating local WBC residents as well as horticultural enthusiasts. In light of the above, the proposals should be approved.</p>

<b>PLANNING POLICY</b>		
National Planning Policy Framework 2021	Section 6	Building a Strong, Competitive Economy
	Section 14	Protecting Green Belt Land
	Section 15	Conserving and Enhancing the Natural Environment
Core Strategy 2010	CP1	Sustainable Development
	CP2	Inclusive Communities
	CP3	General Principles for Development
	CP6	Managing Travel Demand
	CP9	Scale and Location of Development Proposals
	CP11	Proposals outside Development Limits
	CP12	Green Belt
Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC06	Noise
	CC07	Parking
	CC09	Development and Flood Risk
	TB01	Development within the Green Belt

	TB18	Garden Centres and Other Small Rural Units outside Development Limits
	TB20	Service Arrangements and Deliveries for Employment and Retail Use
Borough Design Guide SPD	Section 6	Parking
	Section 7	Non-Residential
	Section 8	Rural and Settlement Edge

<b>PLANNING ISSUES</b>
------------------------

### Description of Development

1. The proposal purports to involve the change of use of an existing glasshouse from horticultural use to exhibition space to house what has been referred to as the National Collection of Haworthia plants as four separated exhibition spaces based on climatic regions, with associated information and display boards. It appears that Mr Scott has registered his collection with The Haworthia Society but it seems that several exist, including one at Kew Gardens.
2. The permission sought is temporary, for a period of three years.

### Site Description

3. The wider site occupies a prominent corner location at the intersection of Bath and London Roads. It comprises a large collection of greenhouses and buildings that comprise a horticultural nursery, farm shop, café (with outdoor seating), retail floorspace, offices and a periodic event space but otherwise appears open and rural. There is also a residential dwelling in the south western corner which has an agricultural/horticultural occupancy condition, and a car park and service yard within the centre of the site. The surrounding area includes a collection of nurseries collectively known as the Floral Mile, with dwellings and commercial buildings interspersed throughout.

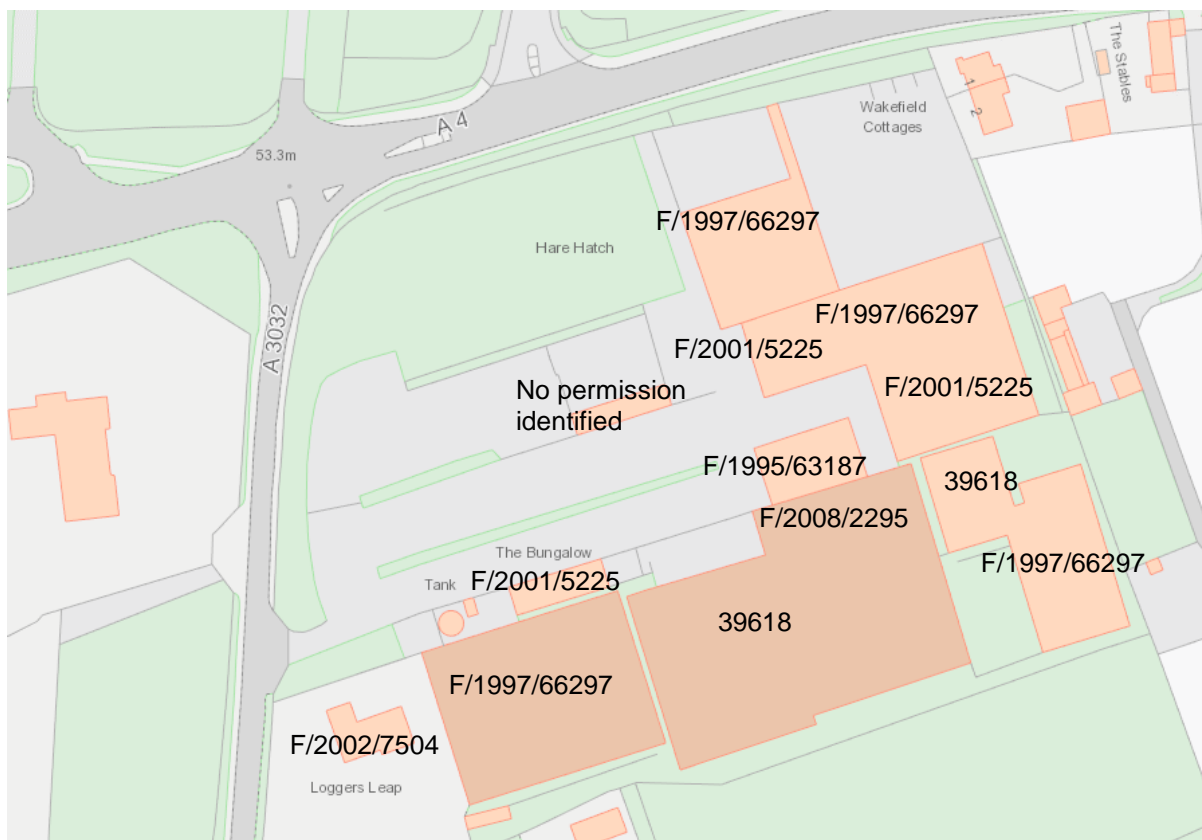
### Principle of Development

4. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. Policy CC01 of the MDD Local Plan states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay unless material considerations indicate otherwise. The NPPF and development seek to restrict inappropriate development in the Green Belt.

### Site history and change of use

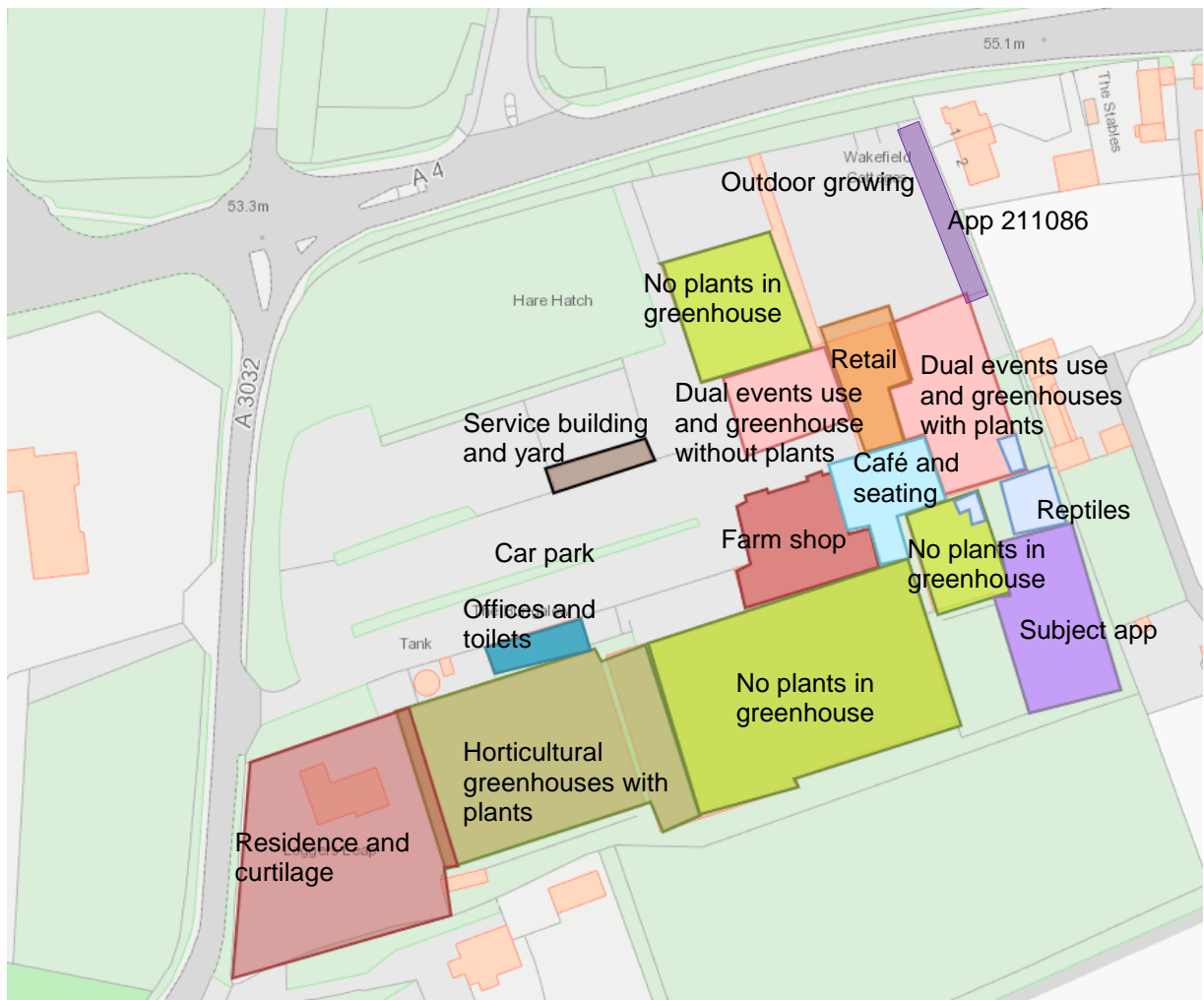
5. The site originally formed part of the Twyford Fruit Farms holding with glasshouses on the site for several decades. In 1989, a Section 64 Determination was issued for use of the site as a containerised tree nursery for sale by wholesale and retail. An earlier legal agreement relating to this site and land to the south and west restricted sales to natural produce picked from the land with sales from a mobile kiosk.

6. Various planning applications followed in order to replace existing structures and enlarge operations. The following approvals for building works are associated with the original horticultural use:



Approvals for horticultural buildings

- a) 39618. approved in 1993, which represented the recommencement of existing horticultural operations and granted approval for a barn for the storage of nursery materials along with replacement polytunnels, subject to there being no retail sales from the barn
  - b) F/1995/63187, approved in 1996, granting approval for a barn for horticultural use
  - c) F/1997/66297, approved in 1997, granting approval for eight greenhouses and covered walkways for horticultural use and measuring 5,128m<sup>2</sup>, with a condition ensuring that the only trees and shrubs to be sold were those grown on site
  - d) F/2001/5225, approved in 2002, granting approval for two additional glasshouses and an office/toilet block. It included a condition limiting the use of the horticultural buildings to ancillary to horticultural/agricultural
7. Since 2002 there has been a gradual change from a wholesale tree nursery to a site that comprises a mixed use far removed from the original tree nursery:



Approved uses on site (not including potential breaches)

- e) F/2002/7504, approved in 2003, granting approval for a detached dwelling house with a horticultural tie to the business
- f) F/2007/0225, approved in 2007, granting a change of use of the barn approved in F/1995/63187, to a farm shop
- g) A/07/2054755, an appeal upheld in 2008, removing the restriction that the sale of produce in the farm shop was limited to that grown within a 10-mile radius
- h) A/07/2054755, the same appeal upheld in 2008, allowing the change of use of greenhouse display space to a café
- i) F/2008/2295, approved in 2009, granting an extension to the farm shop for a butchery
- j) 172161, approved in 2017, allowing the addition of a fishmonger in the farm shop
- k) W/18/3193969, an appeal against the refusal of 173316 upheld in 2019, granting approval for the temporary change of use of part of the greenhouses for retail nursery sales
- l) 191519, approved in 2019, allowing mixed use of part of the greenhouse for timber storage for residential use
- m) 191520, approved in 2019, allowing an enlargement of the car park, mobile dinosaur and use of the service yard for all mixed uses
- n) 192018, approved in 2020, allowing temporary use of the greenhouses as an events space for stallholders over 24 days per year
- o) 201047, approved in 2020, allowing a temporary change of use for the housing and public display of reptiles and exotic animals

- p) 201693, approved in 2020, granting approval for an enlarged café kitchen and butcher storage
- q) 201777, approved in 2020, granting approval for works to the farm shop, some outdoor retail space and outdoor café seating
- r) There has also been some non-enforcement relating to additional café seating to allow for social distancing during the pandemic
- s) 211085 to extend the temporary period in 192018 for the events use (decision pending)
- t) 211086 to extend the temporary three-year period in 173316 for the retail store for a further two years (decision pending)
- u) The subject application for the exhibition space

8. The recent influx of planning applications since 2019 have followed the upheld appeal for the temporary change of use of part of the greenhouses for 499m<sup>2</sup> of indoor retail nursery sales floorspace (appeal ref: APP\X0360/W/18/3193969). During the appeal, the appellant submitted evidence of genuine efforts to re-establish the horticultural nursery, with 499m<sup>2</sup> of retail floor space for a temporary period considered sufficient to generate enough income to keep the business going/enable investment to re-establish a genuine nursery business. This is referenced by the Inspector in the appeal decision at paragraph 8. The following was also noted at paragraph 29:

*“Customers visiting a nursery expect to be able to buy related products. Whilst the range of products proposed for sale goes beyond that which I have found to be ancillary, it would help the nursery compete with other nearby businesses that also sell plants. On the basis of the submitted financial information, it is apparent that a sales area selling these items would help safeguard the existence of the nursery and help the business grow by increasing turnover and profitability.”*

9. An exhibition space as proposed under this application (nor any of the other applications that have followed the appeal decision) was not considered as part of the future approach for the nursery at the time of the appeal. The appellant made no mention of the need or desire to diversify activities on the site in order to re-establish the horticultural business. 29 months after the appeal decision, 15 further applications had been submitted for various other uses, raising the question of whether there was genuinely an intention to re-establish a horticultural nursery use on the site.

10. The following table gives a clear indication of the limited extent of horticultural uses currently being undertaken on the site and the extent of mixed uses. NB: The figures are broad estimates based on an inspection of the site in May 2021. The figures vary significantly from those contained in officer reports for previous planning applications as those figures did not include potential breaches or current uses or that some buildings have been demolished over time. They also differ from other figures in this report as it includes all existing uses/potential breaches as opposed to lawful uses.

	Indoor	Outdoor	Total	%
Currently approved for <b>and</b> solely in horticultural use	2550m <sup>2</sup>	1120m <sup>2</sup>	3670m <sup>2</sup>	27.1%
In other non-horticultural uses, including temporary uses, potential breaches, and current applications (211084 and 211086) but excluding car park, service yard and grassed areas to the north and south	8850m <sup>2</sup>	1015m <sup>2</sup>	9965m <sup>2</sup>	72.9%

Total	11,400m2	2135m2	13,535m2	100%
-------	----------	--------	----------	------

11. It should also be noted that there are two other concurrent applications – 211085 for an extension of the temporary permission for events use and 211086 for an extension of the temporary permission for retail use.
12. The keeping, growing, nurturing and propagation of Haworthia plants is a horticultural use. Allowing visitors to look at the plants, especially those visitors who are already visiting the site, does not amount to a material change of use requiring planning permission. Small information boards within the greenhouse do not constitute development. Officers have explained to the applicant that planning permission is not required given that the primary activity i.e. the nurturing of plants falls within the definition of horticultural. However, the applicant wishes to pursue an application for the change of use to a non-horticultural use i.e. an exhibition and education space falling within F1(e) use class – public hall or exhibition hall. This desire by the applicant seems out of keeping with previous claims that a horticultural use is to be re-established on the site. For information, the haworhtia plants have been kept on the site for years.

#### Location within the Green Belt and Countryside

13. The site is located outside settlement limits within the Green Belt and the Countryside. Development is ordinarily resisted or restricted by Paragraphs 147-150 of the NPPF, which states that new development in the Green Belt is inappropriate, unless it meets specific exceptions. Inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances.
14. Similarly, Policy CP12 of the Core Strategy and Policy TB01 of the MDD Local Plan state that planning permission will not be granted for inappropriate development and where it is not inappropriate, it must maintain the openness of and not conflict with or harm the purposes of the Green Belt. There is consistency in these policies with the NPPF (and the Inspector found so in the previous appeal decision) and so these policies have considerable weight.
15. Policy CP11 of the Core Strategy also does not permit development outside of development limits except if in the case of diverse and sustainable rural enterprises or in the case of other countryside based enterprises and activities, it contributes and/or promotes recreation in, and enjoyment of, the countryside and does not lead to excessive encroachment or expansion of development away from the original buildings; and is contained within suitably located buildings which are appropriate for conversion.
16. The relevant considerations for development in the Green Belt are outlined in Paragraphs 147-150 of the NPPF:

#### *Whether the proposal would be inappropriate development for the purposes of Section 13 of the NPPF and Development Plan policy*

17. The NPPF states that new buildings/development in the Green Belt are inappropriate by their nature unless they fit into certain exception criteria. There are only two relevant considerations in paragraph 150, being part (d), which is the re-use of

buildings provided that the buildings are of permanent and substantial construction; or part (e), which is a material changes in the use of land. In both cases, it must preserve the openness and not conflict with the purposes of the Green Belt.

18. The agent suggests that the proposal satisfies part (d). Reference is made to the appeal decision for the retail floorspace in 173316 (Appeal ref: APP/X0360/W/18/3193969) where at paragraph 19, it is noted that “*by virtue of the thin aluminium frames and extensive use of glass, are lightweight in nature and are not of substantial construction.*”
19. It is argued by the agent that the greenhouse for the subject application is of more sturdy construction with timber framed walls. The Council disagrees on this point as the subject greenhouse is more dilapidated and broadly of similar characteristics to the other greenhouses on the site.



Interior of greenhouse

20. It is also not appropriate to consider the proposal within part (e) as it specifies examples such as outdoor sport or recreation or cemeteries, which are uses that a much more appropriate or conducive to activities within the Green Belt. A use of this nature, which is educational in nature but attached to a commercial enterprise would not fall within that category. On this basis, part (e) is not relevant and the application is misconceived.
21. On the basis of the above, an exhibition use is inappropriate development.

*The effect of the proposal on the openness of the Green Belt and Countryside*

22. The NPPF highlights that the fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open and that the essential characteristics of Green Belts are their openness and their permanence.
23. The business first operated as a horticultural enterprise growing trees and shrubs on site. This was then expanded with the erection of additional greenhouses and



buildings to allow expansion of the business and then trees, and shrubs were brought from off site. This eventually also included the sale of non-horticultural items (items usually found in garden centres) and over time, a farm shop and café were included. A retail nursery, additional event space, housing of exotic animals, additional café seating, back of house butcher and fishmonger space and a farm shop canopy were most recently granted conditional approval.

24. The proposal seeks to open up a further 670 sq m of the existing horticultural greenhouses to the public. Plants stored within this area will form one part of the haworthia collection and educational boards will be installed, providing information about the plants, with the area separated into four areas depending upon the types of plants from different parts of the world. It would act as an exhibition type space. Plants will not be for sale and so there is no retail aspect to the expansion although it is an extension of the existing retail floorspace. The amount of approved non-horticultural floorspace within Hare Hatch Sheeplands would reduce from 75% to 69%, albeit with continued nurturing of plants in this area.
25. The effect upon the openness of the Green Belt and countryside is minimal. The trees and boards are internally housed, it is proposed to be temporary (for three years), the boards are not permanent fixtures and are easily removed and there would be minimal change to the existing horticultural arrangements.
26. There are, however, other potential external side effects such as the likelihood of additional daily traffic movements, additional patronage, and additional on-site parking. The Inspector makes this observation at paragraph 19 of the appeal decision in APP/X0360/W/18/3193969:

*“If it is as popular as hoped for the sales area would also make the site busier with noticeably more visitors. This would manifest itself in increased car parking associated with visitors, staff employed in the sales area and more deliveries which would also adversely affect openness. However, the temporary three-year nature of the permission sought lessens the harm to openness that would be caused.”*

27. On the basis of this assessment, there is a degree of adverse impact, albeit minimal, upon the character of the wider area and the openness of the Green Belt and Countryside.

*If it is inappropriate development, whether the harm by reason of inappropriateness, and any other harm, is clearly outweighed by other considerations, so as to amount to the very special circumstances necessary to justify the development*

28. The retail shop (ref: 173316) was approved at appeal on the grounds of very special circumstances. The inspector granted a three-year temporary permission because of the harm that the retail use causes to the Green Belt. The Inspector noted that it would enable the horticultural business to generate income whilst it sought to re-establish itself and allow the business to compete with other nearby businesses (which are broadly in accordance with the intent and wording of paragraph 84 of the NPPF), as it attained significant public support and because it offered localised employment opportunities.

29. The events use application (ref: 192018) that followed was also approved under very special circumstances as a temporary permission, because of the local community and charitable benefit, the dual use of the greenhouses and because it had strong public support. The other recent applications for the housing of exotic animals, farm shop canopy, additional café outdoor seating and replacement greenhouse were also likewise supported on these grounds.
30. In this case, the use is inappropriate by definition and there is some limited harm to the openness of the Green Belt and so very special circumstances are relevant. The agent has noted the following:
- The Quirks exotic animals are from a similar climate to the National Collection and associated plants, bringing about greater opportunities to advise on endangered habitats, sustainability, and climate change
  - It will assist the Council in addressing the Climate Emergency by educating gardeners about the importance of planting for the future
  - The collection is already stored at Sheeplands and opening it to the public will provide access and education opportunities for the horticultural and local community
  - It is of significant community value
31. Minimal changes are proposed and there would be some educational benefit to the community. 75 representations in support were received and none against.
32. Given that the Council does not consider that planning permission is required and that minimal changes are proposed, and that the use can be restricted by condition in order to prevent a general exhibition use (Condition 3), the application is recommended for conditional approval.
33. On the basis of the above assessment, the proposal is acceptable with respect to Green Belt policy and the use, on a temporary and restricted basis, is acceptable. See Condition 1, which limits the time period to approximately 18 months so that it correlates with the temporary permissions being sought in 211085 and 211086. Those permissions are based on a business case.
34. Of note, the temporary period for the permission, as proposed, is three years, which would extend to August 2024. This conflicts with the temporary permission for the retail use approved at appeal in 173316 (three years to 14 March 2022) and for the temporary permission for the events space (to 14 March 2022) although both of these permissions are currently subject to applications to extend through to March 2024 (ref: 211085 and 211086 respectively). This could result in the scenario where this exhibition use operates without the surrounding retail or events uses. The ramifications arising from this arrangement would ordinarily be fairly limited because the farm shop and café are permanent uses in the near vicinity. However, it is important to note that the very special circumstances that were applied to the more recent temporary permissions on the site were on the premise of improving the business viability and resilience of Hare Hatch Sheeplands and the addition of another non-horticultural use on the site is only allowed on this basis. Therefore, there is merit in applying consistency in the end date for the temporary period across all applications.

## Sustainability

35. Policies CP1, CP6 and CP11 of the Core Strategy permit development where it is based on sustainable credentials in terms of access to local facilities and services and the promotion of sustainable transport. Being in the Green Belt, the site lacks any ready access to facilities and services and the site is located in an area with very poor sustainability credentials. Public transport is almost non-existent, with the services provided not meeting the Council's standard for a good bus service. Cycling on Bath Road is also unattractive because of high traffic levels, significant speeds and a lack of lighting and infrastructure. Most, if not all, customers would need to drive to the premises.

36. However, in the appeal decision for 173316, the Inspector noted that:

*'Nurseries are of necessity located in rural areas. Moreover, by the nature of what they sell the majority of customers have to travel by car in order to take home the plants and related items they have bought. Therefore, whilst policy CP6 of the Core Strategy supports granting planning permission where a choice of sustainable transport options is available, given the nature of a horticultural nursery, such provision is not appropriate in this instance.'*

37. The proposal would maintain the heavy reliance upon private car travel in an area that is poorly serviced by public transport. However, it is anticipated that there will be a relatively low amount of additional traffic movements as most visitors will already be visiting Hare Hatch Sheeplands or the garden centres on the Floral Mile at Hare Hatch. On that aspect, the Inspector found the proposal to be acceptable and there is insufficient reason for the Council to depart from this conclusion in this application.

## Rural Retail

38. Policy TB18 of the MDD allows retail development outside development limits where it is connected and economically relates to the primary holding, is ancillary in nature and there would be no adverse impact upon other retail areas. There is no retail expansion of the business as part of this application, with the collection for display and educational purposes only.

## **Character of the Area**

39. Policy CP3 of the Core Strategy states that development must be appropriate in terms of its scale, mass, layout, built form, height and character of the area and must be of high-quality design.

40. The proposed use is internal, temporary, reversible and comprises mostly of plants (with some information boards) and as such, there is no unreasonable adverse impact upon the character of the wider area. There are other external side effects, including the potential for additional daily traffic movements although it is recognised that many of these visitors will likely already be visiting Hare Hatch Sheeplands for other purposes. In this respect, no objection is raised.

## **Residential Amenities**

41. There is an existing residential dwelling attached to the site that has an agricultural occupancy condition and there are several dwellings adjoining to the east although, indicative of the Green Belt location, they are well removed from the greenhouses. Because of these distances and with a low intensity use, there are no foreseeable amenity issues from visitors to the site.

## **Access and Movement**

42. Policy CC07 and Appendix 2 of the MDD Local Plan stipulates minimum off street parking standards. The existing car park has 161 car spaces, and this has been more recently confirmed to be increased to 201 spaces under planning application 191520. This satisfactorily accommodates the parking generation rates arising from the existing uses at Hare Hatch Sheeplands, including the nursery retail shop (25 spaces), farm shop (23 spaces) and café (36 spaces plus 24 spaces for outdoor seating) and events space/exotic animals display when it is in use (85 spaces) for a total of 193 spaces.
43. The proposal involves a change of use of horticultural greenhouses (no parking generation rate) to use class is F1(e) (previously use class D1) which attracts a parking generation rate of one space per 30m<sup>2</sup>. With a total floor area of 670m<sup>2</sup>, this equates to the requirement for 22 additional spaces. For the entire site, this results in a total of 215 spaces or a departure of 14 spaces.
44. Viewed holistically, though, all of the various uses and areas of the nursery supplement each other and the proposal is highly unlikely to result in a numerical increase of 22 additional vehicle movements. Rather, many visitors will attend two or more of the sites. There is regularly ample capacity within the existing carpark and there is no foreseeable impact on parking provision. It is also unlikely that the proposal would have an adverse impact on the highway network and the Council's Highways Officer has not raised any objection.
45. Planning application 211086 is also being assessed concurrently and it involves a 182m<sup>2</sup> increase in retail floorspace. Were it indoors, it would represent a further increase of nine spaces, for a total departure of 23 spaces. However, for the same reasons above and because it is external, the likely trip generation would be markedly lower than this. The officer report for 211086 notes no objection from the Council's Highways Officer and cumulatively, all of the current applications will be acceptable in terms of parking provision.
46. Policy CC07 requires additional cycle parking on site but because the changes remain incidental or ancillary to the existing nursery use and because of the type of use and its location, no additional cycle parking is considered necessary.

## **Landscaping and Trees**

47. As the proposal relates to the change of use of internal floorspace, there are no landscaping implications.

## **Ecology**

48. There are no ecological implications because there are no works to the buildings or greenhouses and no additional footprint.

## **Contamination**

49. There are no known contamination issues with the proposed use.

## **Waste Storage**

50. There is unlikely to be any additional waste generation from the use of the space. Irrespective, the existing facilities at Sheeplands are viewed as sufficient and no concerns are raised.

## **Flooding and Drainage**

51. The site and access thereto are located within Flood Zone 1 and the proposal represents no additional flood risk or vulnerability. There is no change to the footprint of the building and no external works such that there is also no drainage concern.

## **The Public Sector Equality Duty (Equality Act 2010)**

52. The Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion, or belief. Level access through the building and within the exhibition space is maintained and there is no evidence that persons with protected characteristics have or will have different needs, experiences, issues, and priorities and there would be no significant adverse impacts.

## **Community Infrastructure Levy**

53. CIL is not applicable to exhibition space and is applied where the permission is temporary such is the case here.

## **CONCLUSION**




54. The change of use of an existing greenhouse in horticultural use in the Green Belt to exhibition space would constitute inappropriate development. There has been an incremental and piecemeal creep of non-horticultural uses at the site, despite assurances given to the inspector in 2019 that the landowner intended to re-establish the horticultural business on the site. The introduction of some of the non-horticultural uses has been permitted, subject to restrictive conditions and on the basis of very special circumstances. The loss of space available for horticulture impedes the ability to re-establish a horticultural business. This application is recommended for approval on the basis that the primary activity i.e. the growing and nurturing of Haworthia plants falls within the scope of horticulture, and the fact that the plants are viewed by third party visitors to the wider site does not constitute a material change of use to an exhibition use.

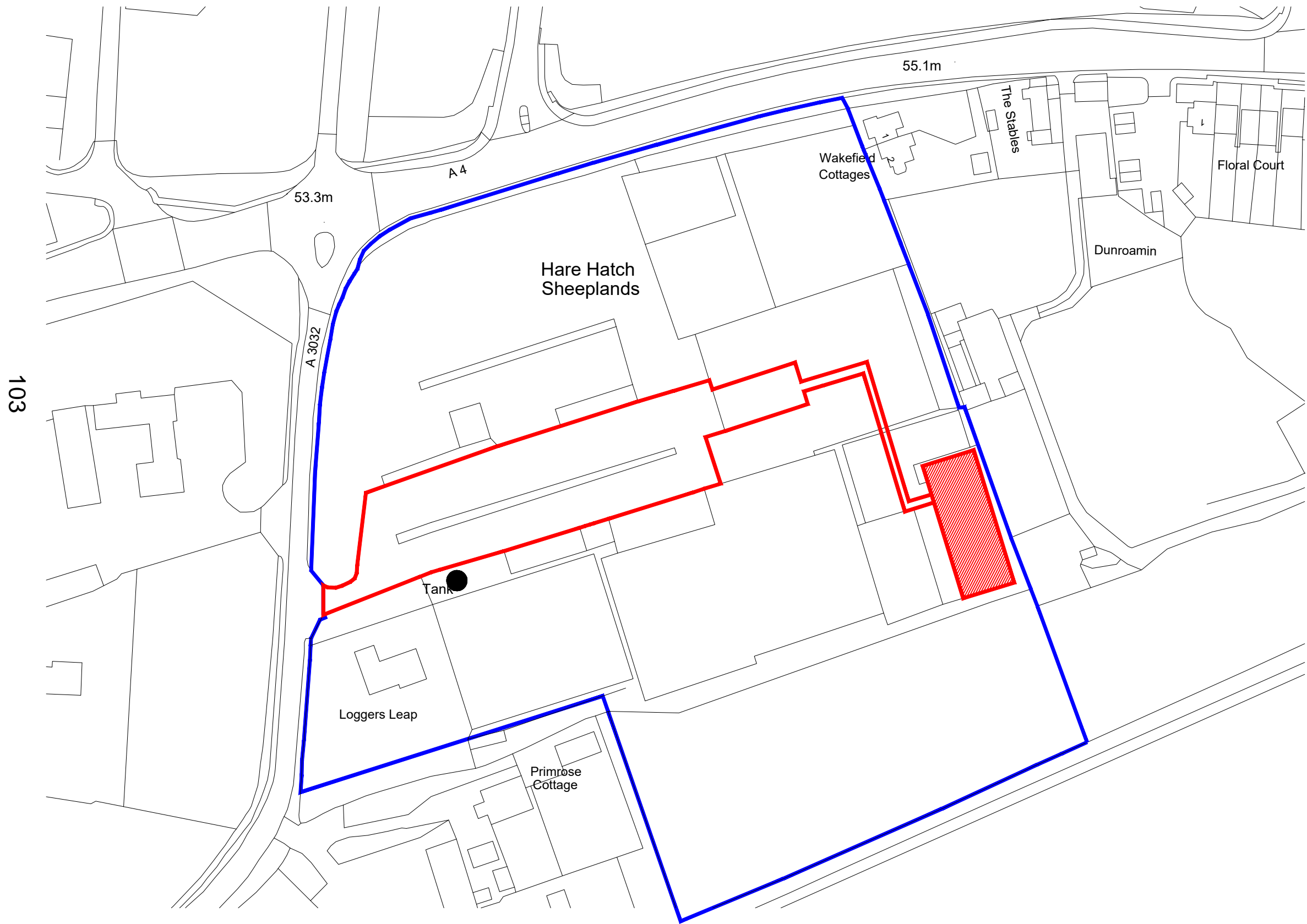
This page is intentionally left blank

**Notes:**  
 This drawing and the works depicted are the copyright of Boyer.  
 This drawing is for planning purposes only. It is not intended to be used for construction purposes. Whilst all reasonable efforts are used to ensure drawings are accurate, Boyer accept no responsibility or liability for any reliance placed on, or use made of, this plan by anyone for purposes other than those stated above.

Do not scale from this drawing. All contractors must visit the site and be responsible for taking and checking Dimensions.

**Key:**

-  Site Boundary
-  Application Boundary
-  Exhibition Space



A	22.03.21	Minor amendments	AW	AJ
-	15.03.21	First Issue	AW	AJ

Date	Description	Drawn	Chkd
	Harehatch Sheeplands		

# Boyer

Project  
**Harehatch Sheeplands**

Drawing Title  
**Location Plan - Exhibition Space**

Drawing No. **HH-ES03** Job Ref. **19.1005**

Scale @ A3 **1:1250** Revision **A**






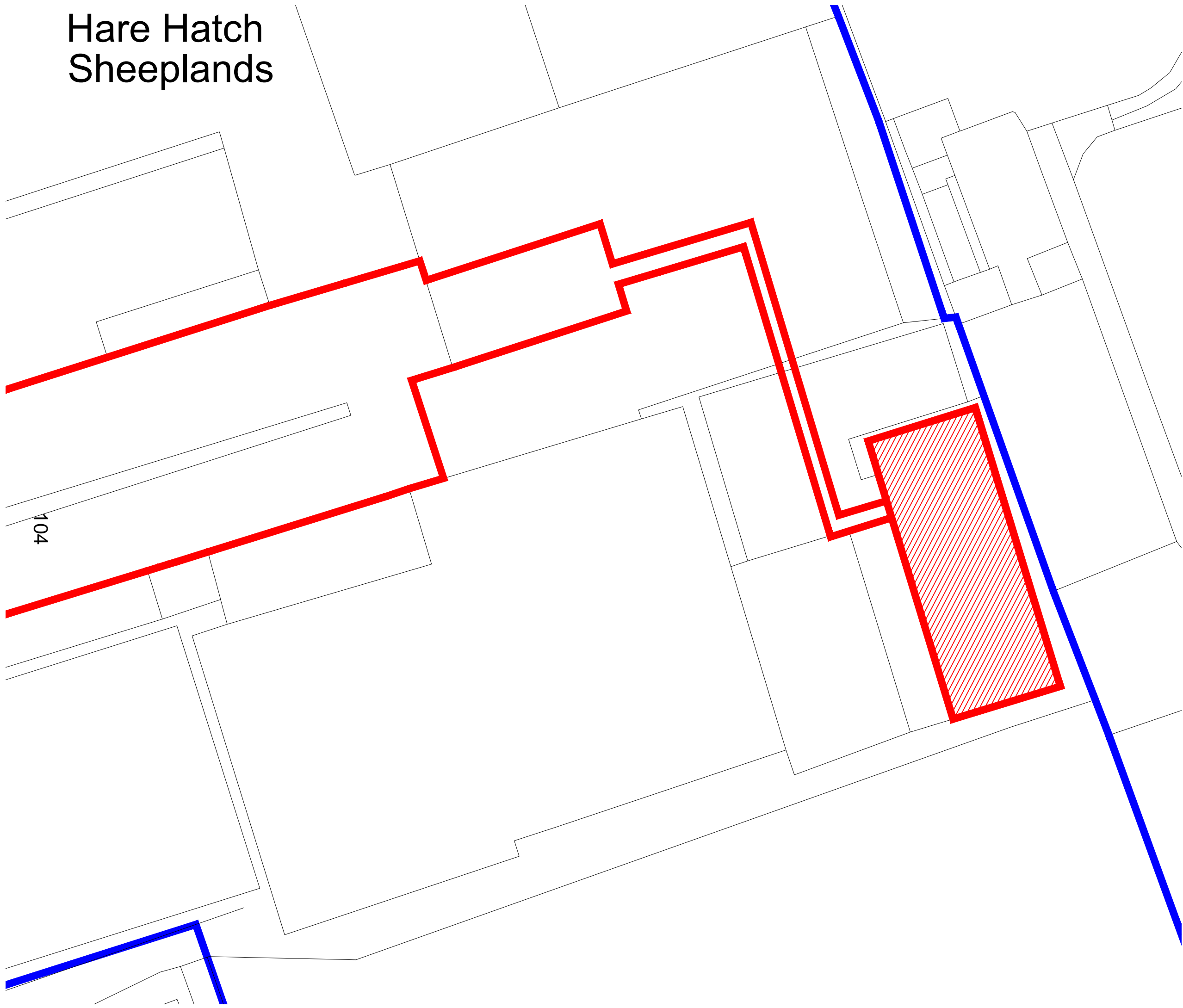
Reproduced from the Ordnance Survey map with the permission of Ordnance Survey on behalf of The Controller of Her Majesty's Stationery Office, © Crown Copyright AR 10007250  
 Boyer Planning Ltd, Crowthorne House, Nine Mile Ride, Wokingham, Berkshire, RG40 3GZ

# Hare Hatch Sheeplands

**Notes:**  
This drawing and the works depicted are the copyright of Boyer.  
This drawing is for planning purposes only. It is not intended to be used for construction purposes. Whilst all reasonable efforts are used to ensure drawings are accurate, Boyer accept no responsibility or liability for any reliance placed on, or use made of, this plan by anyone for purposes other than those stated above.

Do not scale from this drawing. All contractors must visit the site and be responsible for taking and checking Dimensions.

- Key:**
-  Site Boundary
  -  Application Boundary
  -  Exhibition Space



Rev	Date	Description	Drawn	Chkd
A	22.03.21	Minor amendments	AW	AJ
-	15.03.21	First Issue	AW	AJ

Client  
Harehatch Sheeplands





Project  
Harehatch Sheeplands

Drawing Title  
Location Plan - Exhibition Space

Drawing No. HH-ES01      Job Ref. 19.1005

Scale @ A3 1:500      Revision A

Scale Bar  

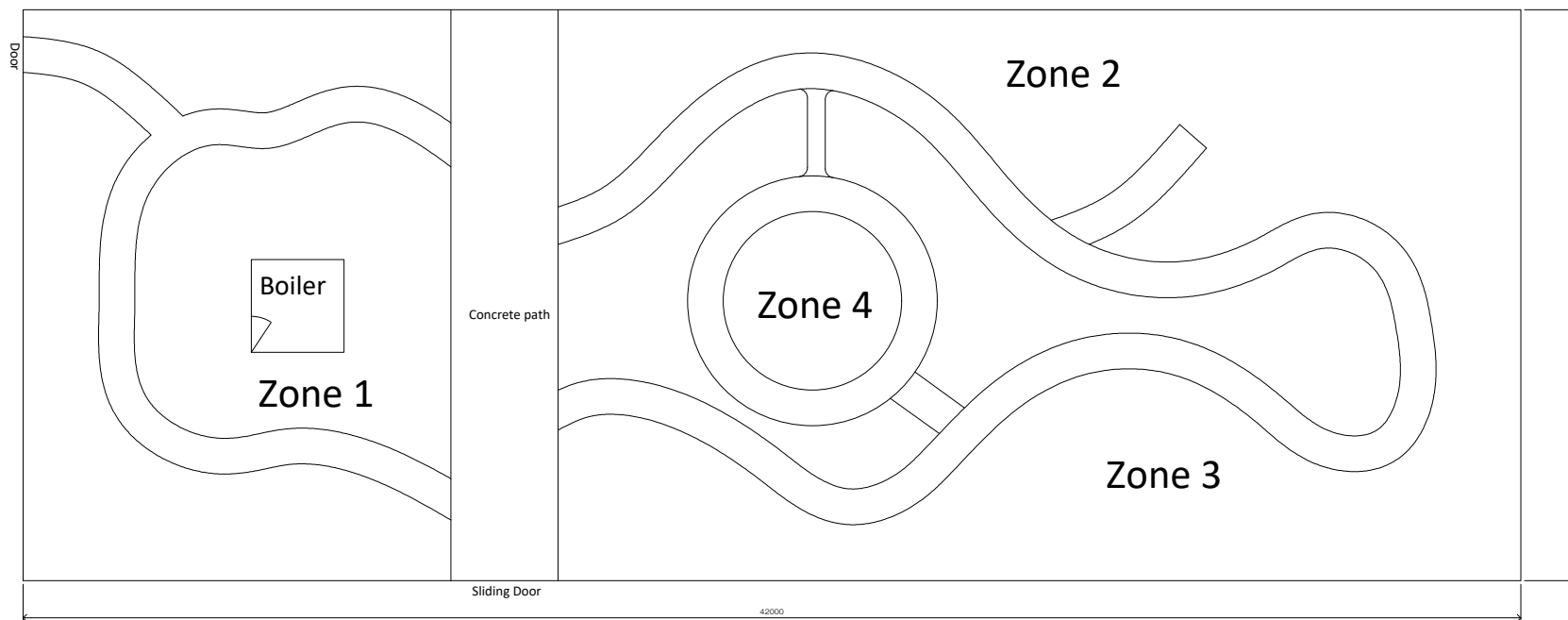
Reproduced from the Ordnance Survey map with the permission of Ordnance Survey on behalf of The Controller of Her Majesty's Stationery Office, © Crown Copyright AR 100007250 Boyer Planning Ltd, Crowthorne House, Nine Mile Ride, Wokingham, Berkshire, RG40 3GZ



**Notes:**  
 This drawing and the works depicted are the copyright of Boyer.  
 This drawing is for planning purposes only. It is not intended to be used for construction purposes. Whilst all reasonable efforts are used to ensure drawings are accurate, Boyer accept no responsibility or liability for any reliance placed on, or use made of, this plan by anyone for purposes other than those stated above.

Do not scale from this drawing. All contractors must visit the site and be responsible for taking and checking Dimensions.

105



An exhibition house illustrating the plant kingdoms diverse strategies for survival in the deserts of the world where rainfall is infrequent and irregulars.

**Zone 1**

- S. Africa
- Aloes
- Haworthias
- Mesembryanthemum
- Crassula

**Zone 2**

- S. Amercia - Andes
- Trichocereus
- Lobivia
- Rebutia

**Zone 3**

- N. America - Mexico & S.W. USA
- Agave
- Opuntia
- Mammillaria
- Echeveria

**Zone 4**

- Europe & North Africa
- Sedumns
- Aeoniums
- Euphorbia

A	22.03.21	Minor amendments	AW	AJ
-	15.03.21	First Issue	AW	AJ

Rev	Date	Description	Drawn	Chkd
-----	------	-------------	-------	------

Client  
 Harehatch Sheeplands

**Boyer**

Project  
 Harehatch Sheeplands

Drawing Title  
 Floor Layout - Exhibition Space

Drawing No. HH-ES02 Job Ref. 19.1005

Scale @ A3 1:200 Revision A



Reproduced from the Ordnance Survey map with the permission of Ordnance Survey on behalf of The Controller of Her Majesty's Stationery Office, © Crown Copyright AR 100007250 Boyer Planning Ltd, Crowthorne House, Nine Mile Ride, Wokingham, Berkshire, RG40 3GZ

This page is intentionally left blank

PLANNING REF : 211084  
PROPERTY ADDRESS : Council Office  
: Pavilion, Recreation Road, Wargrave, Wokingham  
: RG10 8BG  
SUBMITTED BY : Wargrave Parish Council  
DATE SUBMITTED : 06/05/2021

COMMENTS:

Wargrave Parish Council had no objection to the temporary permission as stated,

This page is intentionally left blank

# Agenda Item 27.

Application Number	Expiry Date	Parish	Ward
211085	2 June 2021	Wargrave	Remenham, Wargrave and Ruscombe

<b>Applicant</b>	Hare Hatch Sheeplands
<b>Site Address</b>	Hare Hatch Sheeplands, London Road, Twyford RG10 9RS
<b>Proposal</b>	Application to vary condition 1 of planning consent 192018 for the Full application for the Change of Use of three existing nursery glasshouses into events area relating to the existing nursery. Condition 1 refers to temporary permission and the variation is to extend temporary permission for two years
<b>Type</b>	Full
<b>Officer</b>	Simon Taylor
<b>Reason for determination by committee</b>	Assistant Director directive

<b>FOR CONSIDERATION BY</b>	Planning Committee on Wednesday 11 August 2021
<b>REPORT PREPARED BY</b>	Assistant Director – Place

## SUMMARY

Hare Hatch Sheeplands lies on a prominent corner location at the intersection of Bath and London Roads, Hare Hatch and is situated amongst several garden centres that have historically been known as the Floral Mile. It comprises a large collection of greenhouses and buildings that originally comprised a horticultural nursery but also now include a retail nursery (granted temporary permission on appeal), farm shop, café (granted permission on appeal) with outdoor seating, reptile display and temporary events space. A gravel car park and service yard dominate the centre of the site and a residential dwelling with an occupancy condition tied the horticultural use is located in the south western corner. The site is within the Green Belt and Countryside. There is no planning permission for a garden centre.

The original application was granted conditional approval at Planning Committee on 11 March 2020. It allowed for 1,490m<sup>2</sup> of the existing greenhouses at the eastern end of the site for a limited number and type of events. The use is inappropriate because it represented an expansion of the retail use within an existing horticultural nursery. However, very special circumstances were found, including the community service provided and community support generated. It was conditional to a limit of 24 days per year and a temporary period to 14 March 2022 to coincide with the conclusion of the temporary period associated with the approved retail space. That three-year temporary permission was granted solely to allow for re-establishment of the Hare Hatch Sheeplands horticultural business.

As part of this Section 73 variation application, a further two-year extension of the events use to 14 March 2024 is sought, with the primary justification being that the past 16 months of the pandemic and associated lockdowns has not enabled the events use to be operating at its full capacity.

There were no objections raised by Wargrave Parish Council, the ward member, or internal consultees. As part of the neighbour notification, a total of 75 representations were received in support of the application.

When weighing the planning balance and considering the very special circumstances that apply (Brexit and the pandemic), an extension of the temporary permission is reasonable for a further one year.

#### **PLANNING STATUS**

- Green Belt
- Green Route (Bath Road)
- Landfill gas consultation zone
- Potentially contaminated land consultation zone
- Radon affected area
- Groundwater zone 3
- Nitrate vulnerable zone (surface water)
- Bat consultation zone
- Non-classified road
- Heathrow Aerodrome consultation zone

#### **RECOMMENDATION**

**That the committee authorise the GRANT OF PLANNING PERMISSION subject to the amendment of Conditions 1 and 3 and retention of Conditions 2 and 4 of 192018 as follows:**

#### **Conditions**

1) Temporary permission

The events use hereby permitted shall be discontinued, all events associated with this permission shall cease and equipment associated with the events removed from the site on or before 14 March 2023.

*Reason: In granting this permission, the local planning authority has had regard to the very special circumstances of the case, being its location within a horticultural nursery and within the Green Belt and in the interest of the amenity of the area.*

*Relevant policy: National Planning Policy Framework Section 13, Core Strategy policies CP1, CP3 and CP12 and Managing Development Delivery Local Plan Policy TB01.*

2) Approved details

This permission is in respect of the site plan numbered SK-005, Rev A, dated 15 August 2019. The events use shall be carried out in accordance with the approved plans unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

*Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.*

3) Limitations of use

The events use, hereby approved, is limited by the following:

- a) A maximum of 24 (consecutive or non-consecutive) days in any 12-month period
- b) Events shall take place only between the hours of 8:30am and 5:30pm on any Monday to Saturday and between the hours of 10:30am and 4:30pm on Sundays
- c) Except where events are proposed over two or more consecutive days, preparation is not to commence earlier than 90 minutes before opening, and all items are to be removed no later than 90 minutes after closing
- d) It shall be carried out only in the red hatched area outlined in the approved site plan SK-005 Rev A
- e) No goods for sale shall be displayed and no retail sales shall take place anywhere on the site other than from within the approved retail areas (i.e. the farm shop and the retail nursery as specified in planning permissions F/2007/0225, F/2008/2295, 172161, 173316, 211086 with the types of goods restricted by respective conditions in those permissions
- f) The types of events are limited to the following:
  - i) Flower Shows including: Haworthias and Gasterias National Collection; Cacti Thames Valley Orchid Show; Ottershaw Cacti; Reading Fuchsia Society Show
  - ii) Children's Activities including: Supervised planting and gardening activities for children as part of National Children's Gardening Week; Welly Planting; Children's Entertainments (story telling etc), Wild animal visits
  - iii) Community Events including: RG10 Front Garden Competition event; Twyford in Bloom event; Twyford Treasure Trail; Twyford Fun Run event; Henley Arts Trail event and art installation; Pumpkin event; Community Tea Party; Food and Drink Fair/Tastings; other seasonal events
- g) The use is for events only and this permission does not permit the display or sales of goods within the events floor area shown on plan SK-005, Rev A, dated 15 August 2019

*Reason: In granting this permission, the local planning authority has had regard to the very special circumstances of the case, being its location within a horticultural nursery and within the Green Belt and in the interest of the amenity of the area.*

*Relevant policy: National Planning Policy Framework Section 13, Core Strategy policies CP1, CP3 and CP12 and Managing Development Delivery Local Plan Policy TB01.*

4) No change of use

The part of the building hereby permitted shall be used only for community events specified in Condition 3 and for no other purpose, including any other purpose in Classes A1 or D1 of the Schedule to the Town and Country Planning [Use Classes] Order 1987 (as amended by the Town and Country Planning (Use Classes) (Amendment) (England) Regulations 2020) or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order [with or without modification].

*Reason: In granting this permission, the local planning authority has had regard to the very special circumstances of the case, being its location within a horticultural nursery and within the Green Belt and in the interest of the amenity of the area.*

*Relevant policy: National Planning Policy Framework Section 13, Core Strategy*

## **Informatives**

### 1) Advertisement consent

This permission does not convey or imply any approval or consent that may be required for the display of advertisements on the site for which a separate Advertisement Consent application may be required. You should be aware that the display of advertisements without the necessary consent is a criminal offence liable to criminal prosecution proceedings through the courts.

### 2) Discussion

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of reaching a mutually agreed outcome.

The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

<b>PLANNING HISTORY</b>		
<b>App No.</b>	<b>Description</b>	<b>Decision/Date</b>
39618	Demolition of glasshouses and replacement with polytunnels and barn	Approved 2 September 1993
F/1995/63187	Erection of barn for horticultural use	Approved 27 September 1996
F/1997/66297	Erection of several greenhouses for horticultural use	Approved 3 November 1997
F/2001/5225	Erection of glasshouses and toilet block with office and staff room	Approved 9 January 2002
F/2002/7504	Erection of one detached dwelling	Approved 22 January 2003
F/2003/0195	Construction of basement below the detached dwelling	Refused 5 November 2003
A/04/1136843	Appeal against refusal of F/2003/0195	Upheld 23 July 2004
F/2003/8706	Erection of building for Class A1 use (retail) with a floor area of 195m <sup>2</sup>	Refused 28 April 2003
F/2004/2238	Erection of building of 180m <sup>2</sup> for retailing of pet foods and accessories	Refused 27 August 2004
F/2007/0225	Change of use of barn to farm shop (retail)	Approved 25 May 2007
A/07/2054755	Appeal against Condition 5 of F/2007/0225 (produce is to be within a 10-mile radius)	Upheld 23 April 2008
F/2007/0226	Change of use of display area to a restaurant (156m <sup>2</sup> ) with 80 covers	Approved 23 April 2007
F/2007/1428	Change of use of display area to café/coffee shop with dry goods storage.	Refused 27 July 2007
A/07/2054755	Appeal against refusal of F/2007/1428	Upheld 23 April 2008



<b>PLANNING HISTORY</b>		
<b>App No.</b>	<b>Description</b>	<b>Decision/Date</b>
A/2007/2038	Retrospective approval for four free standing advertisement signs	Part approved/ refused 17 October 2007
F/2008/0038	Change of use from 2200m <sup>2</sup> floor area of the glasshouses to retail sales and display (A1)	Refused 20 March 2008
F/2008/2295	Extension to farm shop to provide butchery (part retail)	Approved 2 February 2009
A/2008/0444	Two freestanding sign boards (one double sided)	Approved 24 April 2008
F/2008/2766	Conversion of basement in bungalow to one unit of residential accommodation.	Refused 10 March 2009
A/09/2104930	Appeal against refusal of F/2008/2766	Dismissed 2 September 2009
F/2011/0648	Redevelopment of horticultural site including increase in retail space, replacement buildings, revised parking, and landscaping	Refused 19 December 2011
A/12/2171958	Appeal against refusal of F/2011/0648	Withdrawn 7 November 2012
F/2011/2117	Two display conservatories	Refused on 28 November 2011
CLE/2014/1462	Certificate of existing lawful development for sale of retail goods	Refused 31 March 2015
152747	Change of land and building to play area and recreational farm	Declined to determine
152748	Change of use of part of existing building to retail	Declined to determine
160677	Certificate of existing lawful development for sale of retail goods	Refused 13 May 2016
171478	Four non-illuminated free-standing boards	Approved 7 July 2017
173316	Temporary CoU of part glasshouse and outdoor area to retail sales	Declined to determine
W/18/3193969	Appeal against non-determination of 173316	Upheld 14 March 2019
172850	CoU of part glasshouse and outdoor area to retail sales	Declined to determine
172161	Variation of F/2008/2295 for use of farm shop as fishmonger as well as butchery	Approved 4 September 2017
191517	Canopy and support struts to farm shop	Refused 5 September 2019
191518	Expansion of café floor area	Refused 10 September 2019
191520	Extension of car park, use of service yard for all uses and mobile dinosaur	Approved 10 September 2019
191519	Use of a greenhouse as a residential timber store	Approved 17 September 2019
192841	Replacement advertising signage	Approved 21 November 2019
192912	Change of use of land for storage of cars	Withdrawn 15 January 2020
192018	CoU of three existing nursery glasshouses into events area relating to existing nursery	Approved 11 March 2020

<b>PLANNING HISTORY</b>		
<b>App No.</b>	<b>Description</b>	<b>Decision/Date</b>
192841	Two illuminated entrance boards and three illuminated boards	Approved 21 November 2019
201047	Temporary (3 years) change of use to house Quirks' Animal Roadshows Exotic Animals	Approved 23 June 2020
201693	Replacement greenhouse with café kitchen, butcher storage and public toilets	Approved 10 September 2020
201777	Two canopies and AC unit supports to the farm shop and a CoU of outdoor plant storage for use as an outdoor café seating area	Approved 16 September 2020
203533	Five non illuminated banner signs	Approved 9 February 2021
211084	CoU of greenhouse from horticulture to exhibition space for display of National Collection of Hawthornia and other plans	Pending
211086	Continued use of temporary sales area permitted in 173316 and CoU to include an additional sales area	Pending

<b>SUMMARY INFORMATION</b>	
Site Area	3.1 hectares (Hare Hatch Sheeplands site)
Existing land uses	Horticultural, with retail shop, farm shop, café, reptile display, events space and greenhouse plant growing
Proposed land uses	No change
Existing floorspace	Approximately 11,500m <sup>2</sup> (estimated) of indoor greenhouse and building space including retail shop (499m <sup>2</sup> ), farm shop (413m <sup>2</sup> ), café (140m <sup>2</sup> ), reptile display (110m <sup>2</sup> ), events space (1490m <sup>2</sup> ) and greenhouse plant growing (approximately 4060m <sup>2</sup> )
Proposed floorspace	No change
Number of jobs	No new jobs created
Existing parking spaces	201 spaces
Proposed parking spaces	201 spaces

<b>CONSULTATION RESPONSES</b>	
WBC Env. Health	No objection.

<b>REPRESENTATIONS</b>	
Wargrave Parish Council	No objection.
Ward Member	Whilst not ward member, Cllr David Hare noted that the events provided by Sheeplands are valued by the community in Wokingham and beyond. The use of greenhouses for events related to the nursery is vital to increase footfall and it is important to extend this permission while ensuring that these facilities are used effectively for displays and events.
Neighbours	The application was consulted to neighbours from 7-28 April 2021. Submissions were received from the following properties:  1) 1 Springfield Park, Twyford RG10 9JG

- 2) Magnolia, 9 Springfield Place, Twyford RG10 9JG
- 3) 12 Weir Pool Court, Silk Lane, Twyford RG10 9GY
- 4) 12 Hurst Park Road, Twyford RG10 0EY
- 5) 17 Yewhurst Close, Twyford RG10 9PW
- 6) 23 Hurst Park Road, Twyford RG10 0EZ
- 7) 3 Brook Street, Twyford RG10 9NX
- 8) 12 Woodpecker Close, Twyford RG10 0BB
- 9) Fairview, Longfield Road, Twyford RG10 9AT
- 10) Pax Cottage, Byron Road, Twyford RG10 0AE
- 11) 5 New Road, Twyford RG10 9PS
- 12) 47 Colleton Drive, Twyford RG10 0AU
- 13) 9 Paddock Heights, Twyford RG10 0AP
- 14) 2 Cheviot Drive, Twyford RG10 9QD
- 15) 19 Thornbers Way, Charvil, RG10 9DW
- 16) 27 Strathmore Drive, Charvil RG10 9QT
- 17) 62 The Hawthorns, Charvil RG10 9TS
- 18) 5 Thornbers Way, Charvil RG10 9DW
- 19) Flat 2 157 Butts Hill Road, Woodley RG5 4NX
- 20) 12 Corbett Gardens, Woodley RG5 4JY
- 21) 15 Brandon Avenue, Woodley RG5 4PU
- 22) 14 Manners Road, Woodley RG5 3EA
- 23) East Warren, Warren Road, Woodley RG5 3AR
- 24) 18 Butts Hill Road, Woodley RG5 4NH
- 25) 4 Corby Close, Woodley RG5 4TL
- 26) 152 Reading Road, Woodley RG5 3AA
- 27) 214 Kingfisher Drive, Woodley RG5 3LQ
- 28) 11 Farriers Close, Woodley RG5 3DD
- 29) 196 Kingfisher Drive, Woodley RG5 3LQ
- 30) 84 Loddon Bridge Road, Woodley RG5 4AN
- 31) The Russetts, 6 Autumn Walk, Maidenhead SL6 4ND (x2)
- 32) 77 Ross Road, Maidenhead SL6 2SR
- 33) 22 The Croft, Maidenhead SL6 4BA
- 34) 69 Farm Road, Maidenhead SL6 5JB
- 35) 35 Loosen Drive, Maidenhead SL6 3UT
- 36) Mount Farm, Choke Lane, Maidenhead SL6 6PL
- 37) 43 Ridgeway, Wargrave RG10 8AS
- 38) 20 Ridgeway, Wargrave RG10 8AS
- 39) 3 Strand Way, Earley RG6 4BU
- 40) 33 Ledran Close, Earley RG6 4JF
- 41) 1 Reeds Avenue, Earley RG6 5SP
- 42) 4 Adwell Drive, Lower Earley RG6 4JY
- 43) 38 The Drive, Earley RG6 1EG
- 44) 22 Meadow Road, Wokingham RG41 2TD
- 45) Southleigh, Longwater Lane, Wokingham RG40 4NX
- 46) 93 Hemdean Road, Caversham RG4 7SS
- 47) 17 Valentine Crescent, Caversham RG4 5JL
- 48) 11 Deans Farm, The Causeway, Caversham RG4 5JZ
- 49) 17 Boston Avenue, Reading RG1 6JU
- 50) 5 Chalcroft Close, Henley on Thames RG9 1QZ
- 51) 18 Nicholas Road, Henley on Thames RG9 1RB
- 52) 6 Ouzel Chase, Bracknell RG12 8DU
- 53) 35 Grange Road, Bracknell RG12 2HY

- 54) Houseshoe House, Castle End Road, Ruscombe RG10 9XG
- 55) 7 Walnut Tree Close, Ruscombe RG10 9PF (x3)
- 56) Lashbrook, Lashbrook Road, Lower Shiplake RG9 3NX
- 57) Yewgate Cottage, Remenham Hill RG9 3ES
- 58) 6 Gredier Close, Shinfield RG2 9EZ
- 59) 9 Birch Close, Sonning Common RG4 9LE
- 60) 25 Old Bath Road, Sonning RG4 6SY
- 61) Knowl Hill Lodge, Knowl Hill Common RG10 9YD
- 62) 19 Fern Drive, Taplow SL6 0JS
- 63) 92 Broomhill, Cookham Rise SL6 9LQ
- 64) 88 Woodward Close, Winnersh RG41 5UU
- 65) 28 Burnside Road, West Bridgford NG2 7HW
- 66) 42 Orchard Avenue, Addlestone KT15 3EA
- 67) 16 Sandhills Way, Calcott RG31 7PQ
- 68) The Rt Hon. Theresa May MP, House of Commons

The submissions were all in support of the proposal and noted the following:

- Should be extended because of the pandemic
- Has not been able to operate properly during 2020
- Events have been beneficial and educational
- Business has been supportive of charities
- Provides a feeling of community
- No other such facility in the area
- Would enhance the business
- Vital for continuation of the business
- Has been well supported
- Allows for local shopping
- Provides for employment
- Efficient use of space
- Site provides for good parking and amenities for event use
- They have demonstrated that they can operate without detriment to the Green Belt

Officer comment: These observations are all noted.

#### **APPLICANTS POINTS**

...Since planning permission was granted on 12 March 2020, Hare Hatch Sheeplands have been unable to run events under the permission due to the COVID-19 pandemic. In order to allow this rural business to grow and expand sustainably, it is necessary for Condition 1 – Temporary permission to be amended to extend the expiry date until 14 March 2024.

#### **PLANNING POLICY**

National Planning Policy Framework 2021	Section 6	Building a Strong, Competitive Economy
	Section 14	Protecting Green Belt Land
	Section 15	Conserving and Enhancing the Natural Environment
Core Strategy 2010	CP1	Sustainable Development
	CP2	Inclusive Communities
	CP3	General Principles for Development

	CP6	Managing Travel Demand
	CP9	Scale and Location of Development Proposals
	CP11	Proposals outside Development Limits
	CP12	Green Belt
Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC06	Noise
	CC07	Parking
	CC09	Development and Flood Risk
	TB01	Development within the Green Belt
	TB18	Garden Centres and Other Small Rural Units outside Development Limits
	TB20	Service Arrangements and Deliveries for Employment and Retail Use
Borough Design Guide SPD	Section 6	Parking
	Section 7	Non-Residential
	Section 8	Rural and Settlement Edge

## PLANNING ISSUES

### Description of Development

1. The approved application (192018) involves the use of three existing greenhouses with a total area of 1,490m<sup>2</sup> at the eastern end of the existing sites for community events including:
  - Flower Shows including: Haworthias and Gasterias; Cacti Thames Valley Orchid Show; Ottershaw Cacti; Reading Fuchsia Society Show
  - Children's Activities including: Supervised planting and gardening activities for children as part of National Children's Gardening Week; Welly Planting; Children's Entertainments (story telling etc), Wild animal visits
  - Community Events including: RG10 Front Garden Competition event; Twyford in Bloom event; Twyford Treasure Trail; Twyford Fun Run event; Henley Arts Trail event and art installation; Pumpkin event; Community Tea Party; Food and Drink Fair/Tastings; other seasonal events
  
2. Approval was granted subject to the following restrictions:
  - 1) *Temporary permission*

*The events use hereby permitted shall be discontinued, all events associated with this permission shall cease and equipment associated with the events removed from the site on or before 14 March 2022.*
  
  - 3) *Limitations of use*

*The events use, hereby approved, is limited by the following:*

    - a) *A maximum of 24 (consecutive or non-consecutive) days in any 12-month period*

- b) *Events shall take place only between the hours of 8:30am and 5:30pm on any Monday to Saturday and between the hours of 10:30am and 4:30pm on Sundays and Bank Holidays*
- c) *Except where events are proposed over two or more consecutive days, preparation is not to commence earlier than 90 minutes before opening and all items are to be removed no later than 90 minutes after closing*
- d) *It shall be carried out only in the red hatched area outlined in the approved site plan SK-005 Rev A*
- e) *No retail nursery sales associated with the existing nursery use are permitted within the red hatched area in the approved site plan SK-005 Rev A*
- f) *The types of events are limited to the following unless otherwise agreed in writing after the date of this permission and before implementation with the Local Planning Authority:*
  - i) *Flower Shows including: Haworthias and Gasterias National Collection; Cacti Thames Valley Orchid Show; Ottershaw Cacti; Reading Fuchsia Society Show*
  - ii) *Children's Activities and Events including: Supervised planting and gardening activities for children as part of National Children's Gardening Week; Welly Planting; Children's Entertainments (story telling etc), Wild animal visits*
  - iii) *Community Events including: RG10 Front Garden Competition event; Twyford in Bloom event; Twyford Treasure Trail; Twyford Fun Run event; Henley Arts Trail event and art installation and seasonal produce events such as a Pumpkin event;*
  - iv) *Community Tea Party; Food and Drink Fair/Tastings; other seasonal events and charitable fundraisers.*

3. The subject application seeks to vary Condition 1 to allow an extension of the temporary timeframe for a further two years to 14 March 2024.

### **Site Description**

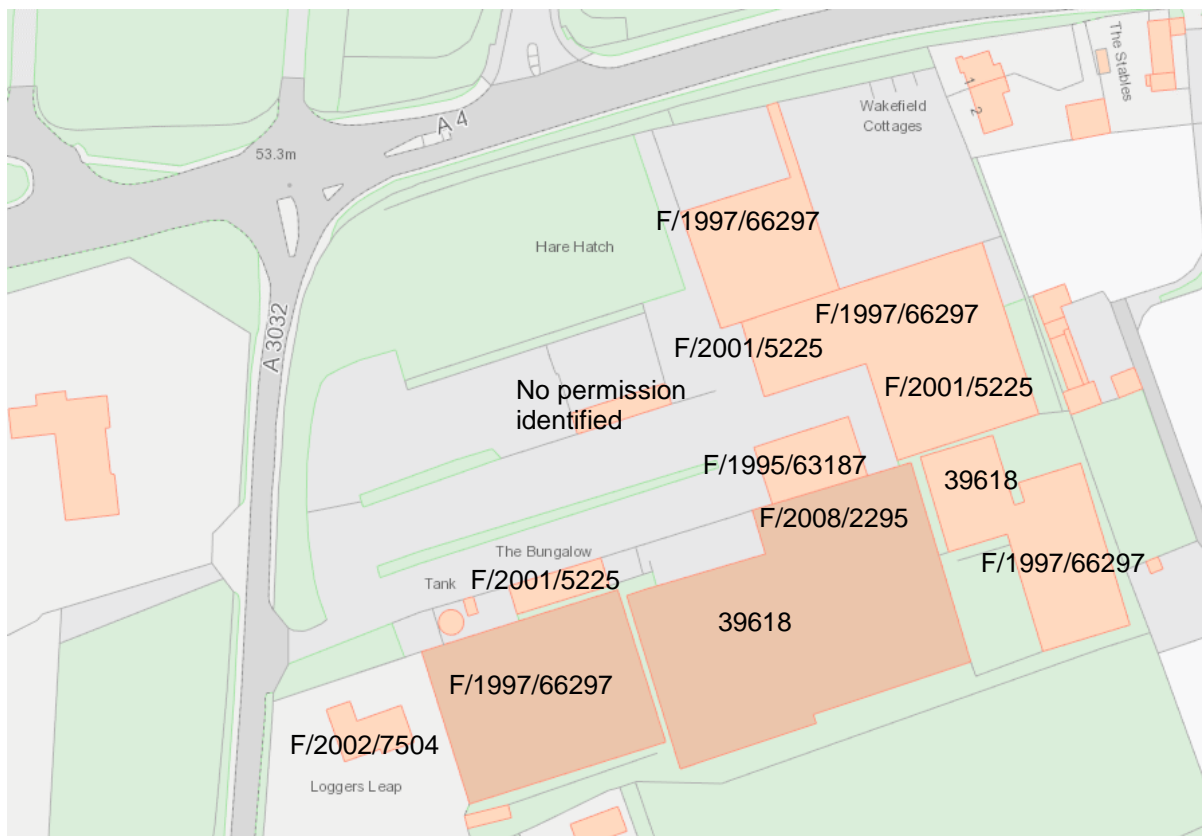
4. The wider site occupies a prominent corner location at the intersection of Bath and London Roads. It comprises a large collection of greenhouses and buildings that comprise a horticultural nursery, farm shop, café (with outdoor seating), retail floorspace, offices and a periodic event space but otherwise appears open and rural. There is also a residential dwelling in the south western corner which has an agricultural/horticultural occupancy condition, and a car park and service yard within the centre of the site. The surrounding area includes a collection of nurseries collectively known as the Floral Mile, with dwellings and commercial buildings interspersed throughout.

### **Principle of Development**

5. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. Policy CC01 of the MDD Local Plan states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay unless material considerations indicate otherwise. The NPPF and Development Plan seek to protect the Green Belt.

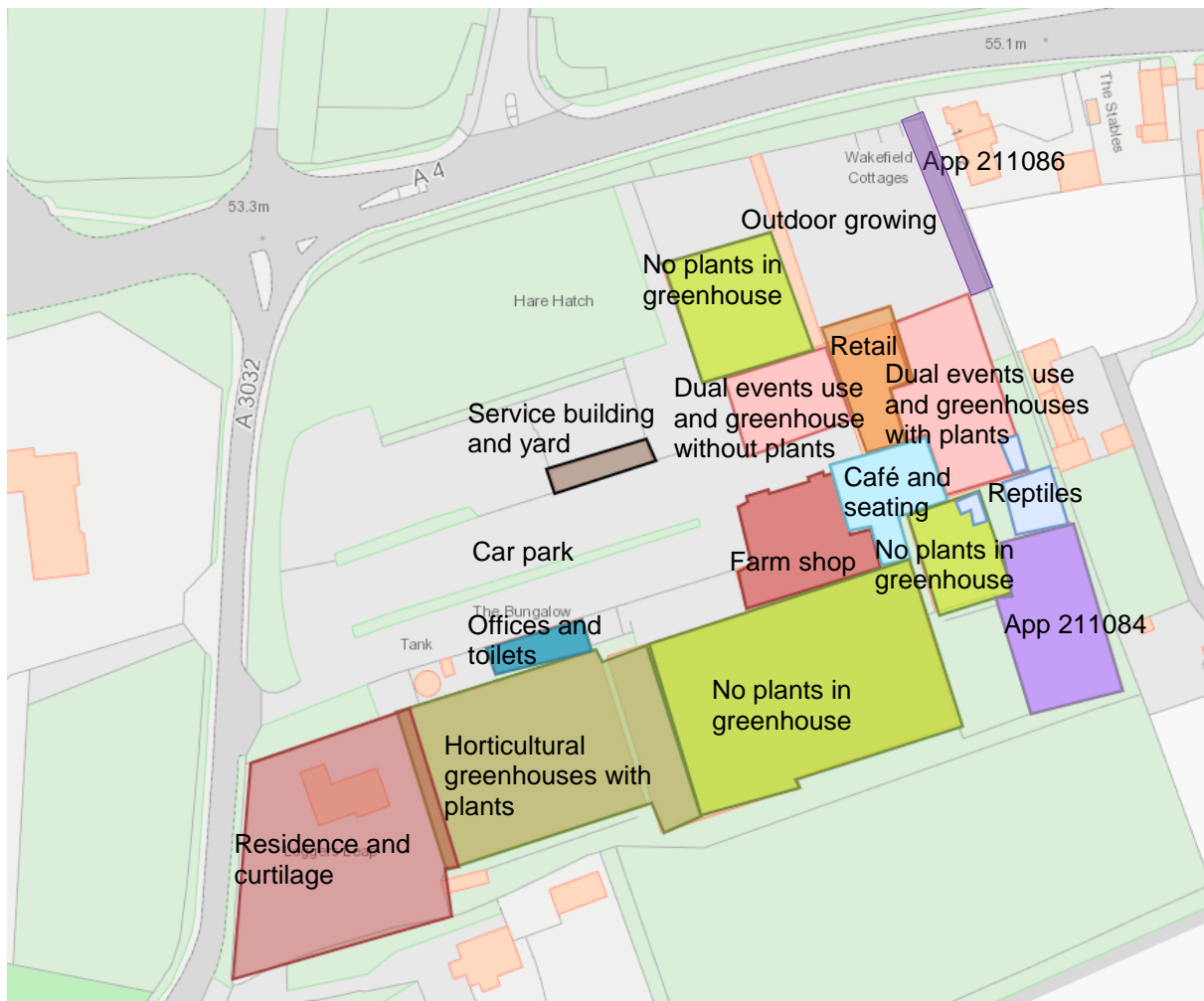
## Site history and change of use

6. The site originally formed part of the Twyford Fruit Farms holding with glasshouses on the site for several decades. In 1989, a Section 64 Determination was issued for use of the site as a containerised tree nursery for sale by wholesale and retail. An earlier legal agreement relating to this site and land to the south and west restricted sales to natural produce picked from the land with sales from a mobile kiosk.
7. Various planning applications followed in order to replace existing structures and enlarge operations. The following approvals for building works are associated with the original horticultural use:



Approvals for horticultural buildings

- a) 39618. approved in 1993, which represented the recommencement of existing horticultural operations and granted approval for a barn for the storage of nursery materials along with replacement polytunnels, subject to there being no retail sales from the barn
  - b) F/1995/63187, approved in 1996, granting approval for a barn for horticultural use
  - c) F/1997/66297, approved in 1997, granting approval for eight greenhouses and covered walkways for horticultural use and measuring 5,128m<sup>2</sup>, with a condition ensuring that the only trees and shrubs to be sold were those grown on site
  - d) F/2001/5225, approved in 2002, granting approval for two additional glasshouses and an office/toilet block. It included a condition limiting the use of the horticultural buildings to ancillary to horticultural/agricultural
1. Since 2002 there has been a gradual change from a wholesale tree nursery to a site that comprises a mixed use far removed from the original tree nursery:



Approved uses on site (not including potential breaches)

- e) F/2002/7504, approved in 2003, granting approval for a detached dwelling house with a horticultural tie to the business
- f) F/2007/0225, approved in 2007, granting a change of use of the barn approved in F/1995/63187, to a farm shop
- g) A/07/2054755, an appeal upheld in 2008, removing the restriction that the sale of produce in the farm shop was limited to that grown within a 10-mile radius
- h) A/07/2054755, the same appeal upheld in 2008, allowing the change of use of greenhouse display space to a café
- i) F/2008/2295, approved in 2009, granting an extension to the farm shop for a butchery
- j) 172161, approved in 2017, allowing the addition of a fishmonger in the farm shop
- k) W/18/3193969, an appeal against the refusal of 173316 upheld in 2019, granting approval for the temporary change of use of part of the greenhouses for retail nursery sales
- l) 191519, approved in 2019, allowing mixed use of part of the greenhouse for timber storage for residential use
- m) 191520, approved in 2019, allowing an enlargement of the car park, mobile dinosaur and use of the service yard for all mixed uses
- n) 192018, approved in 2020, allowing temporary use of the greenhouses as an events space for stallholders over 24 days per year
- o) 201047, approved in 2020, allowing a temporary change of use for the housing and public display of reptiles and exotic animals



- p) 201693, approved in 2020, granting approval for an enlarged café kitchen and butcher storage
- q) 201777, approved in 2020, granting approval for works to the farm shop, some outdoor retail space and outdoor café seating
- r) There has also been some non-enforcement relating to additional café seating to allow for social distancing during the pandemic
- s) 211085 to extend the temporary period in 192018 for the events use (decision pending)
- t) 211086 to extend the temporary three-year period in 173316 for the retail store for a further two years (decision pending)
- u) The subject application for the exhibition space

2. The influx of planning applications since 2019 followed the appeal for the temporary change of use of part of the greenhouses to 499m2 of indoor retail sales floorspace (appeal ref: APP\X0360/W/18/3193969). During the appeal, the appellant claimed that genuine efforts to re-establish the horticultural nursery were underway and 499m2 of retail floor space would generate enough income to keep the business going/enable investment to re-establish the nursery business. This is referenced by the Inspector in the appeal decision at paragraph 8. The following was also noted at paragraph 29:

*“Customers visiting a nursery expect to be able to buy related products. Whilst the range of products proposed for sale goes beyond that which I have found to be ancillary, it would help the nursery compete with other nearby businesses that also sell plants. On the basis of the submitted financial information, it is apparent that a sales area selling these items would help safeguard the existence of the nursery and help the business grow by increasing turnover and profitability.”*

- 3. Neither the events use (or any of the other non-horticultural applications) received since 2019 were mentioned to the inspector at the time of the appeal. 29 months after the appeal decision, 15 further applications had been submitted for various other uses, raising the question of whether there was genuinely an intention to re-establish a horticultural nursery use on the site.
- 4. The following table gives a clear indication of the limited extent of horticultural uses currently being undertaken on the site and the extent of mixed uses. NB: The figures are broad estimates based on an inspection of the site in May 2021. The figures vary significantly from those contained in officer reports for previous planning applications as those figures did not include potential breaches or current uses or that some buildings have been demolished over time. They also differ from other figures in this report as it includes all existing uses/potential breaches as opposed to lawful uses.

	Indoor	Outdoor	Total	%
Currently approved for <b>and</b> solely in horticultural use	2550m2	1120m2	3670m2	27.1%
In other non-horticultural uses, including temporary uses, potential breaches, and current applications (211084 and 211086) but excluding car park, service yard and grassed areas to the north and south	8850m2	1015m2	9965m2	72.9%
Total	11,400m2	2135m2	13,535m2	100%

5. It should also be noted that there are two other concurrent applications – 211084 for an extension of the temporary permission for events use and 211086 for an extension of the temporary permission for retail use.

#### Location within the Green Belt and countryside

6. The site is located outside settlement limits within the Green Belt and the Countryside. Development is ordinarily resisted or restricted by Paragraphs 147-150 of the NPPF, which states that new development in the Green Belt is inappropriate, unless it meets specific exceptions. Inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances.
7. Similarly, Policy CP12 of the Core Strategy and Policy TB01 of the MDD Local Plan state that planning permission will not be granted for inappropriate development and where it is not inappropriate, it must maintain the openness of and not conflict with or harm the purposes of the Green Belt. There is consistency in these policies with the NPPF (and the Inspector found so in the previous appeal decision) and so these policies have considerable weight.
8. Policy CP11 of the Core Strategy also does not permit development outside of development limits except if in the case of diverse and sustainable rural enterprises or in the case of other countryside based enterprises and activities, it contributes and/or promotes recreation in, and enjoyment of, the countryside and does not lead to excessive encroachment or expansion of development away from the original buildings; and is contained within suitably located buildings which are appropriate for conversion.
9. The original approval was deemed to be inappropriate development and posed harm to the openness of the Green Belt but approval was granted under very special circumstances. The approval was temporarily only to 14 March 2022 for approximately two years. The subject variation seeks to extend it for a further two years. There are no other changes and as such, the conclusions relating to inappropriate development and harm to the openness of the Green Belt remain unchanged, albeit continuing for a further two years.
10. The very special circumstances that were accepted at the time of the original decision were:
  - Provides floorspace for community events free of charge and the additional community floorspace allows for other businesses to expand and grow
  - Allows for longer term business expansion and increased awareness of horticultural and other similar events
  - Intends to utilise the existing greenhouses when not in use for horticulture, thereby establishing a dual use
  - There was public support for the application, including that it provides a community service and educational opportunities
  - The findings of the previous Inspector for the appeal for the retail use noted similar circumstances
  - Condition 3 limits the number of events to 24 days per year and operating hours

11. The approval continues dual use of the space and it provides for community and educational activities for patrons/customers and for stallholder businesses to grow and expand. Where 23 letters of support were received in relation to the original approval, 68 representations in support, have been received.
12. These were relevant at the time of the original assessment of the application and the granting of a temporary permission. The temporary permission was imposed in Condition 1 because it was felt that a permanent permission would not be acceptable when recognising the original horticultural use of the site and its location within the Green Belt. The specified date of 14 March 2022 was imposed to coincide with the end of the three-year temporary permission for the retail use allowed at appeal in 173316, granted 14 March 2019 and ending 14 March 2022.
13. There would need to be additional very special circumstances more than those noted above to justify any further extension to the temporary period. The planning statement accompanying the application refers to the following:

*Given the fact that the first full year of just a two-year permission has not been able to be properly realised due to the pandemic, with quite a few months yet to go before things can get back to any sort of 'normal', it is necessary to amend the permission, to take account for these unexpected circumstances. The proposed application would be a variation to the condition, purely in relation to the temporary permission expiry date for the events.*
14. Several representations received in support of the application have referenced the above circumstances and whilst the cover letter submitted with the application is short on detail about whether there has been a curtailing of any planned events, it is apparent that a craft fair and flea market has operated through 2020 and 2021. Monthly events through January to November are noted although it is unclear whether any of these planned events have been cancelled due to the early 2021 lockdown period. Although, just to reiterate, the appellant did not say to the inspector that an event use was needed to enable the horticultural business to re-establish.
15. Nonetheless, it is apparent that not all the 24 dates have been utilised. Further, it is highly likely that many of the businesses and other organisations may not have been able to attend the events as stallholders because of indirect factors arising from the unstable economic climate and limitations on movements during the lockdown period. Events in the future are also able to be held with fewer restrictions on social distancing.
16. It is therefore concluded that the pandemic and the associated implications is a very special circumstance. However, there is no justification for a two-year extension given that there has not been a 2-year lockdown. Further, it has come to the Council's attention that for the monthly craft fayre events that have been taking place, an entry fee of £1 has been applied and food and drinks have been made available for sale. This would appear to be contrary to the limitations of the use in Condition 3(f) of the original planning permission which limit events to flower shows, children's activities and community events. This is subject to an ongoing enforcement investigation. Condition 3(e) has also been reworded to remove a previous ambiguity surrounding events sales and retail sales.

17. The original approval allowed a three-year temporary consent for the events use on the basis of very special circumstances. The amendment to Condition 1 would therefore allow continuation of the events use to 14 March 2023.

### Sustainability

18. The original approval was considered to be poorly located in terms of access to facilities and services but nonetheless sustainable on account of the garden centres in the area, the expectation that most garden centres are in rural areas, the mixed use of the site and the products sold that would largely prohibit transportation in anything other than private vehicle. There is nothing in this variation application that would alter this stance.

### Rural Retail

19. The planning assessment of the original application concluded that the proposal, when conditioned, would not detrimentally alter the existing use. Moreover, given the limitations imposed and the community aspect, it was not envisaged that there would be unacceptable adverse economic harm to surrounding businesses. This stance is maintained.

### **Character of the Area**

20. Policy CP3 of the Core Strategy states that development must be appropriate in terms of its scale, mass, layout, built form, height and character of the area and must be of high-quality design.
21. The proposed use is unchanged from that originally approved and as such, there is no materially additional adverse impact upon the character of the wider area. There is, however, the continuation of external side effects, including the potential for additional daily traffic movements as noted above in the assessment of the proposal against Green Belt policy.

### **Neighbouring Amenities**

22. The original application was acceptable on amenity grounds because it was internal, centrally located and the house of use were controlled. There have not been any complaints on the basis of noise and disturbance to neighbours since the original approval. Even when accounting for the cumulative effects of other approvals since the original approval, there are no neighbour concerns.

### **Access and Movement**

23. The original application was acceptable on parking and traffic grounds with adequate on-site car parking in accordance with the parking standards in the MDD Local Plan. The extension of the temporary permission would not alter this conclusion, even when accounting for approvals granted within the site in the meantime.
24. Planning application 211084 for exhibition space and application 211086 for additional retail space are being assessed concurrently. The officer reports for both applications have identified a cumulative numerical departure with the parking standards. However, when accounting for mixed uses and dual trips across the site

and the ample availability of parking that is currently evident with the existing car park, no objections were noted.

25. There remain no objections on traffic generation or access grounds.

### **The Public Sector Equality Duty (Equality Act 2010)**

26. The Council is required to have regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no additional indication or evidence that persons with protected characteristics as identified by the Act have or will have different needs, experiences, issues and priorities and there would be no significant adverse impacts.

### **Community Infrastructure Levy**

27. The application is not liable for CIL payments and the section 73 variation does not alter this stance.




<b>CONCLUSION</b>
-------------------

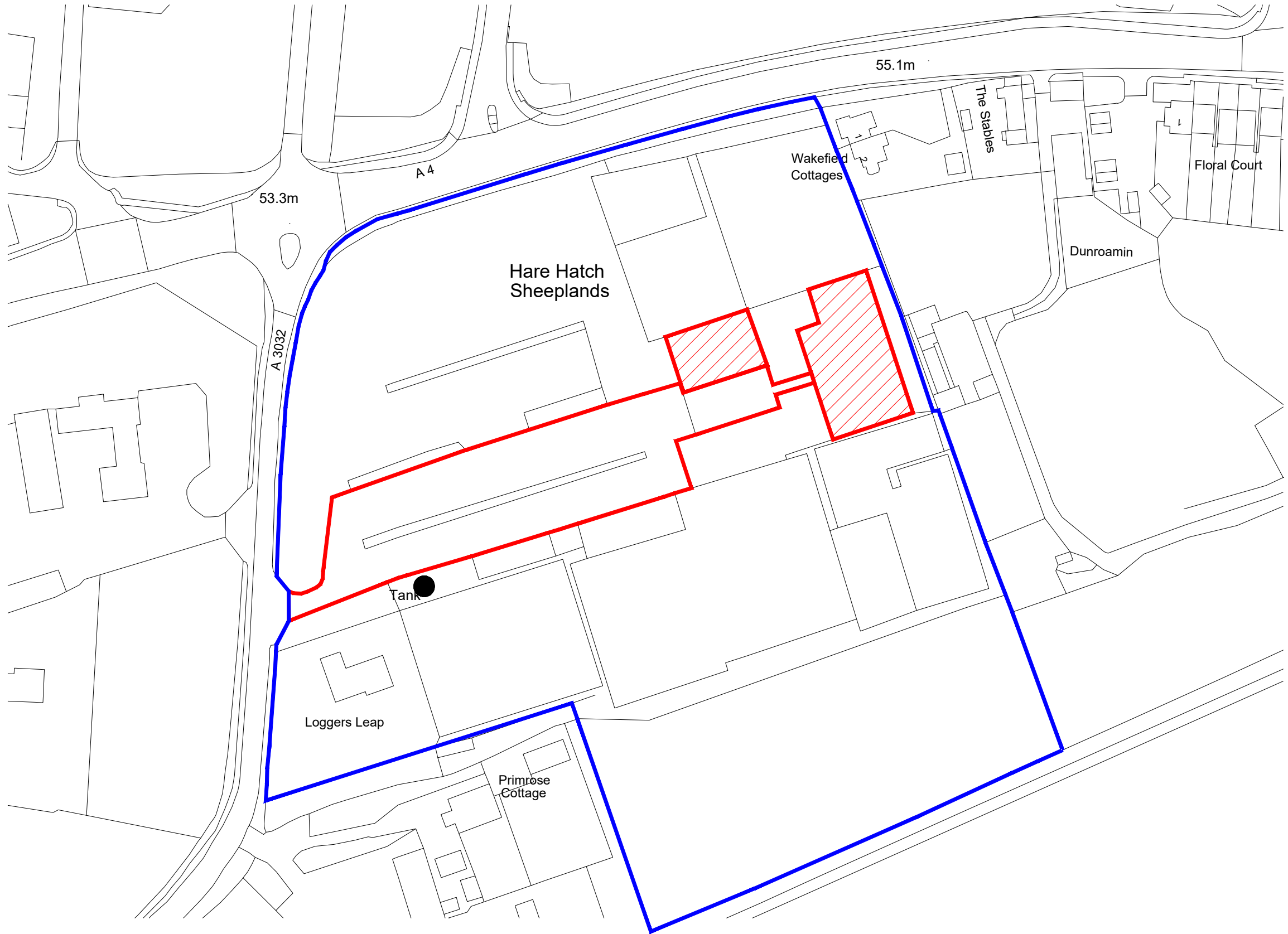
28. The original approval was granted primarily on the grounds that it provided a positive community benefit. Due to the pandemic, not all events could take place. Continuation of the temporary permission for a further 12 months to 14 March 2023 (and not two years as proposed) would be viewed as a very special circumstance and would be commensurate with the difficulties and economic conditions that have been experienced but many businesses in the past 16 months as a result of the lockdown and global Covid-19 pandemic.

This page is intentionally left blank

**Notes:**  
 This drawing and the works depicted are the copyright of Boyer.  
 This drawing is for planning purposes only. It is not intended to be used for construction purposes. Whilst all reasonable efforts are used to ensure drawings are accurate, Boyer accept no responsibility or liability for any reliance placed on, or use made of, this plan by anyone for purposes other than those stated above.

Do not scale from this drawing. All contractors must visit the site and be responsible for taking and checking Dimensions.

- Key:**
-  Site Boundary
  -  Application Boundary
  -  Area to be used for ancillary events



127

X	XX.XX.XX	XXXXXXXX	XXX	XXX
-	25.07.19	First Issue	SW	AJ

Rev	Date	Description	Drawn	Chkd
-----	------	-------------	-------	------

Client  
 Harehatch Sheeplands

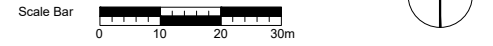


Project  
 Harehatch Sheeplands

Drawing Title  
 Site location plan: Ancillary events

Drawing No. SK-005 Job Ref. 19.1005

Scale @ A3 1:1250 Revision



Reproduced from the Ordnance Survey map with the permission of Ordnance Survey on behalf of The Controller of Her Majesty's Stationery Office, © Crown Copyright AR 100007250 Boyer Planning Ltd, Crowthorne House, Nine Mile Ride, Wokingham, Berkshire, RG40 3GZ

This page is intentionally left blank



PLANNING REF : 211085  
PROPERTY ADDRESS : Council Office  
: Pavilion, Recreation Road, Wargrave, Wokingham  
: RG10 8BG  
SUBMITTED BY : Wargrave Parish Council  
DATE SUBMITTED : 20/04/2021

COMMENTS:

Wargrave Parish Council had no objection to this application.

This page is intentionally left blank

# Agenda Item 28.

Application Number	Expiry Date	Parish	Ward
211086	21 May 2021	Wargrave	Remenham, Wargrave and Ruscombe

<b>Applicant</b>	Hare Hatch Sheeplands
<b>Site Address</b>	Hare Hatch Sheeplands, London Road, Twyford RG10 9RS
<b>Proposal</b>	Full application for the continued use of existing sales area permitted temporarily under 173316 and change of use to include an additional sales area.
<b>Type</b>	Full
<b>Officer</b>	Simon Taylor
<b>Reason for determination by committee</b>	Assistant Director directive

<b>FOR CONSIDERATION BY</b>	Planning Committee on Wednesday 11 August 2021
<b>REPORT PREPARED BY</b>	Assistant Director – Place

<b>SUMMARY</b>
<p>Hare Hatch Sheeplands lies on a prominent corner location at the intersection of Bath and London Roads, Hare Hatch, and is situated amongst several garden centres that have historically been known as the Floral Mile. It comprises a large collection of greenhouses and buildings that originally comprised a horticultural nursery but also now includes 499m<sup>2</sup> of very restricted retail floorspace (granted temporarily on appeal due to Very Special Circumstances and which expires in March 2022), farm shop, café with outdoor seating, reptile display and temporary events space. A gravel car park and service yard dominate the centre of the site and a residential dwelling with an occupancy condition tied the horticultural use is located in the south western corner. The site is within the Green Belt and Countryside. No planning permission exists for the of Hare Hatch Sheeplands as a garden centre.</p> <p>The application proposes the continuation retail sales on 499m<sup>2</sup> of indoor greenhouses and outdoor space. Plus, the change of use of an additional 182m<sup>2</sup> of retail sales area is also proposed. The original approval was granted at appeal in March 2019 with a three-year temporary permission ending 14 March 2022. An additional outdoor sales and display area measuring 182m<sup>2</sup> for trees and shrubs is also proposed in the north eastern corner of the site.</p> <p>Despite being inappropriate development, the Inspector for the appeal for 499m<sup>2</sup> of retail floor space concluded in 2019 that very special circumstances applied. They considered it appropriate to allow Hare Hatch Sheeplands three years to re-establish the viability of the horticultural nursery business and generate income for reinvestment. The subject application has been submitted on the grounds that the volatility and uncertainty associated with the Covid-19 pandemic and associated lockdowns has not allowed for the business to establish itself or for a financial business case to be established.</p> <p>There were no objections raised by Wargrave Parish Council, the ward member, or internal consultees. As part of the neighbour notification, a total of 76 submissions were received in support of the application.</p>

When weighing the planning balance and considering the very special circumstances that apply (i.e. the pandemic), a one-year extension of the temporary permission is recommended.

#### **PLANNING STATUS**

- Green Belt
- Green Route (Bath Road)
- Landfill gas consultation zone
- Potentially contaminated land consultation zone
- Radon affected area
- Groundwater zone 3
- Nitrate vulnerable zone (surface water)
- Bat consultation zone
- Non-classified road
- Heathrow Aerodrome consultation zone

#### **RECOMMENDATION**

**That the committee authorise the GRANT OF PLANNING PERMISSION subject to the following conditions and informatives:**

#### **Conditions**

1) Approved details

This permission is in respect of the plans numbered HH-GS-01 Rev A and HH-GS-02 Rev A, both dated 15 March 2021 and received by the local planning authority on 26 March 2021. The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

*Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.*

2) Temporary use

The use hereby permitted shall be discontinued and all goods and paraphernalia associated with the retail use shall be removed from the site on or before 14 March 2023. This relates to both the original and revised (internal and external) space.

*Reason: To allow a review of financial viability of the Hare Hatch Sheeplands business on the surrounding properties.*

*Relevant policy: NPPF Section 13, Core Strategy policies CP1, CP3, CP11 and CP12 and Managing Development Delivery Local Plan TB01.*

3) Business plan

A full financial report and business plan shall be submitted to the Local Planning Authority on or before 14 March 2022. The report shall detail income and expenditure, future income forecasts and the business plan shall demonstrate that a viable horticultural business can be operated from the site prior to March 2023

without any retail floor space. In the absence of the submission of such a report and plan the retail use hereby permitted shall discontinue by 14 March 2022. The plan detailing a viable horticultural business shall be implemented prior to March 2023.

*Reason: To allow the local planning authority an opportunity to assess the effect of the retail use on the Green Belt and to allow a review of financial viability of the Hare Hatch Sheeplands business on the surrounding properties.*

*Relevant policy: NPPF Section 13, Core Strategy policies CP1, CP3, CP11 and CP12 and Managing Development Delivery Local Plan TB01.*

#### 4) Limitations of use

No goods shall be displayed or sold within the indoor floorspace other than the following:

- a) Bought in plants for immediate sale – including bedding plants, shrubs, trees, house plants etc
- b) Tools and equipment - including forks and spades, hedge shears, loppers, secateurs, gloves, boots etc
- c) Growing media - including composts, grits, sands, bark etc
- d) Fertilisers and chemicals – including fertilisers, pesticides, herbicides, lawn treatments, woodcare, salt etc
- e) Irrigation - including micro watering systems, hose pipes, watering cans, accessories etc
- f) Landscaping and design - including plant supports, fencing, garden arts and ornaments, stones, aggregates, solar lights, etc
- g) Containers including - pots - indoor and outdoor (plastic and terracotta), seed trays, hanging baskets, patio tubs, accessories (pot feet, plant caddy's) etc
- h) Seeds and bulbs - including seeds, bulbs, seed potatoes, vegetable sets etc
- i) Bird/bee/wildlife care - including insect habitats, bird food, hedgehog house's etc
- j) Grow your own – including netting, vegetable troughs, vegetable beds, plastic growing units (mini greenhouses), greenhouse accessories, allotment accessories etc
- k) Christmas trees, decorations, and Santa's grotto (seasonal)

No goods shall be displayed or sold within the (182m<sup>2</sup>) outdoor space other than the following:

- l) Plants for immediate sale – including shrubs, trees, and house plants.

*Reason: In granting this permission the local planning authority has had regard to the special circumstances of the case, being retail development in the Green Belt.*

*Relevant policy: NPPF Section 13, Core Strategy policies CP1, CP3, CP11 and CP12 and Managing Development Delivery Local Plan TB01.*

### **Informatives**

#### 1) Advertisement consent

This permission does not convey or imply any approval or consent that may be required for the display of advertisements on the site for which a separate

Advertisement Consent application may be required. You should be aware that the display of advertisements without the necessary consent is a criminal offence liable to criminal prosecution proceedings through the courts.

## 2) Discussion

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of reaching a mutually agreed outcome.

The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

<b>PLANNING HISTORY</b>		
<b>App No.</b>	<b>Description</b>	<b>Decision/Date</b>
39618	Demolition of glasshouses and replacement with polytunnels and barn	Approved 2 September 1993
F/1995/63187	Erection of barn for horticultural use	Approved 27 September 1996
F/1997/66297	Erection of several greenhouses for horticultural use	Approved 3 November 1997
F/2001/5225	Erection of glasshouses and toilet block with office and staff room	Approved 9 January 2002
F/2002/7504	Erection of one detached dwelling	Approved 22 January 2003
F/2003/0195	Construction of basement below the detached dwelling	Refused 5 November 2003
A/04/1136843	Appeal against refusal of F/2003/0195	Upheld 23 July 2004
F/2003/8706	Erection of building for Class A1 use (retail) with a floor area of 195m <sup>2</sup>	Refused 28 April 2003
F/2004/2238	Erection of building of 180m <sup>2</sup> for retailing of pet foods and accessories	Refused 27 August 2004
F/2007/0225	Change of use of barn to farm shop (retail)	Approved 25 May 2007
A/07/2054755	Appeal against Condition 5 of F/2007/0225 (produce is to be within a 10-mile radius)	Upheld 23 April 2008
F/2007/0226	Change of use of display area to a restaurant (156m <sup>2</sup> ) with 80 covers	Approved 23 April 2007
F/2007/1428	Change of use of display area to café/coffee shop with dry goods storage.	Refused 27 July 2007
A/07/2054755	Appeal against refusal of F/2007/1428	Upheld 23 April 2008
A/2007/2038	Retrospective approval for four free standing advertisement signs	Part approved/ refused 17 October 2007
F/2008/0038	Change of use from 2200m <sup>2</sup> floor area of the glasshouses to retail sales and display (A1)	Refused 20 March 2008
F/2008/2295	Extension to farm shop to provide butchery (part retail)	Approved 2 February 2009
A/2008/0444	Two freestanding sign boards (one double sided)	Approved 24 April 2008

<b>PLANNING HISTORY</b>		
<b>App No.</b>	<b>Description</b>	<b>Decision/Date</b>
F/2008/2766	Conversion of basement in bungalow to one unit of residential accommodation.	Refused 10 March 2009
A/09/2104930	Appeal against refusal of F/2008/2766	Dismissed 2 September 2009
F/2011/0648	Redevelopment of horticultural site including increase in retail space, replacement buildings, revised parking, and landscaping	Refused 19 December 2011
A/12/2171958	Appeal against refusal of F/2011/0648	Withdrawn 7 November 2012
F/2011/2117	Two display conservatories	Refused on 28 November 2011
CLE/2014/1462	Certificate of existing lawful development for sale of retail goods	Refused 31 March 2015
152747	Change of land and building to play area and recreational farm	Declined to determine
152748	Change of use of part of existing building to retail	Declined to determine
160677	Certificate of existing lawful development for sale of retail goods	Refused 13 May 2016
171478	Four non-illuminated free-standing boards	Approved 7 July 2017
173316	Temporary CoU of part glasshouse and outdoor area to retail sales	Declined to determine
W/18/3193969	Appeal against non-determination of 173316	Upheld 14 March 2019
172850	CoU of part glasshouse and outdoor area to retail sales	Declined to determine
172161	Variation of F/2008/2295 for use of farm shop as fishmonger as well as butchery	Approved 4 September 2017
191517	Canopy and support struts to farm shop	Refused 5 September 2019
191518	Expansion of café floor area	Refused 10 September 2019
191520	Extension of car park, use of service yard for all uses and mobile dinosaur	Approved 10 September 2019
191519	Use of a greenhouse as a residential timber store	Approved 17 September 2019
192841	Replacement advertising signage	Approved 21 November 2019
192912	Change of use of land for storage of cars	Withdrawn 15 January 2020
192018	CoU of three existing nursery glasshouses into events area relating to existing nursery	Approved 11 March 2020
192841	Two illuminated entrance boards and three illuminated boards	Approved 21 November 2019
201047	Temporary (3 years) change of use to house Quirks' Animal Roadshows Exotic Animals	Approved 23 June 2020
201693	Replacement greenhouse with café kitchen, butcher storage and public toilets	Approved 10 September 2020

<b>PLANNING HISTORY</b>		
<b>App No.</b>	<b>Description</b>	<b>Decision/Date</b>
201777	Two canopies and AC unit supports to the farm shop and a CoU of outdoor plant storage for use as an outdoor café seating area	Approved 16 September 2020
203533	Five non illuminated banner signs	Approved 9 February 2021
211084	CoU of greenhouse from horticulture to exhibition space for display of National Collection of Hawthornia and other plans	Pending
211085	Application to vary condition 1 of 192018 to extend temporary permission for two years	Pending

<b>SUMMARY INFORMATION</b>	
Site Area	3.1 hectares (Hare Hatch Sheeplands site)
Existing land uses	Horticultural, with retail shop, farm shop, café, reptile display, events space and greenhouse plant growing
Proposed land uses	No change
Existing floorspace	Approximately 11,500m <sup>2</sup> (estimated) of indoor greenhouse and building space including retail shop (499m <sup>2</sup> ), farm shop (413m <sup>2</sup> ), café (140m <sup>2</sup> ), reptile display (110m <sup>2</sup> ), events space (1490m <sup>2</sup> ) and greenhouse plant growing (approximately 4060m <sup>2</sup> )
Proposed floorspace	Additional 182m <sup>2</sup> of outdoor retail space
Number of jobs	Unknown
Existing parking spaces	201 spaces
Proposed parking spaces	201 spaces

<b>CONSULTATION RESPONSES</b>	
WBC Landscape and Trees	No objection.
WBC Env. Health	
WBC Highways	No objection.
WBC Ecology	No comments received.
WBC Waste	
Natural England	No objection.

<b>REPRESENTATIONS</b>	
Wargrave Parish Council	No objection.
Ward Member	Whilst not ward member, Cllr David Hare noted that the resource is a very important part of the local and wider community but does need to continue to sell goods! It is imperative that good sales areas are provided to display their produce. To continue to provide a valued facility it is important that the sales area is expanded to facilitate the sale of produce.
Neighbours	The application was consulted to neighbours from 13 April to 5 May 2021. Submissions were received from the following properties:  1) Magnolia, 9 Springfield Place, Twyford RG10 9JG 2) 12 Weir Pool Court, Silk Lane, Twyford RG10 9GY 3) 12 Hurst Park Road, Twyford RG10 0EY



- 4) 17 Yewhurst Close, Twyford RG10 9PW
- 5) 3 Brook Street, Twyford RG10 9NX
- 6) 12 Woodpecker Close, Twyford RG10 0BB
- 7) Fairview, Longfield Road, Twyford RG10 9AT
- 8) Wessex Gardens, Twyford RG10 0BA ( no number supplied)
- 9) Pax Cottage, Byron Road, Twyford RG10 0AE
- 10) 5 New Road, Twyford RG10 9PS
- 11) 47 Colleton Drive, Twyford RG10 0AU
- 12) 2 Cheviot Drive, Twyford RG10 9QD (x2)
- 13) 1 Springfield Park, Twyford RG10 9JG
- 14) 19 Thornbers Way, Charvil, RG10 9DW
- 15) 62 The Hawthorns, Charvil RG10 9TS
- 16) 5 Thornbers Way, Charvil RG10 9DW
- 17) Flat 2 157 Butts Hill Road, Woodley RG5 4NX
- 18) 12 Corbett Gardens, Woodley RG5 4JY
- 19) 15 Brandon Avenue, Woodley RG5 4PU
- 20) 14 Manners Road, Woodley RG5 3EA
- 21) East Warren, Warren Road, Woodley RG5 3AR
- 22) 18 Butts Hill Road, Woodley RG5 4NH
- 23) 4 Corby Close, Woodley RG5 4TL
- 24) 46 Tippings Lane, Woodley RG5 4RY
- 25) 214 Kingfisher Drive, Woodley RG5 3LQ
- 26) 11 Farriers Close, Woodley RG5 3DD
- 27) 196 Kingfisher Drive, Woodley RG5 3LQ
- 28) 2 Headley Close, Woodley RG5 4SF
- 29) 84 Loddon Bridge Road, Woodley RG5 4AN
- 30) 77 Ross Road, Maidenhead SL6 2SR
- 31) The Russetts, 6 Autumn Walk, Maidenhead SL6 4ND
- 32) Frythways, Henley Road, Maidenhead SL6 6QW (x2)
- 33) 69 Farm Road, Maidenhead SL6 5JB
- 34) 35 Loosen Drive, Maidenhead SL6 3UT
- 35) 44 Palmers Close, Maidenhead SL6 3X
- 36) Mount Farm, Choke Lane, Maidenhead SL6 6PL
- 37) Oakleigh, Green Lane, Littlewick Green RL6 3RH
- 38) Spire View, Waltham Road White Waltham, SL6 3SG
- 39) 43 Ridgeway, Wargrave RG10 8AS
- 40) 20 Ridgeway, Wargrave RG10 8AS
- 41) 5 Chalcraft Close, Henley on Thames, RG10 1QZ
- 42) 3 Strand Way, Earley RG6 4BU
- 43) 33 Ledran Close, Earley RG6 4JF
- 44) 1 Reeds Avenue, Earley RG6 5SP
- 45) 38 The Drive, Earley RG6 1EG
- 46) 4 Adwell Drive, Lower Earley RG6 4JY
- 47) Southleigh, Longwater Lane, Wokingham RG40 4NX
- 48) 22 Meadow Road, Wokingham RG41 2TD
- 49) 16 Milton Road, Wokingham RG40 1DB
- 50) 93 Hemdean Road, Caversham RG4 7SS (x2)
- 51) 17 Valentine Crescent, Caversham RG4 5JL
- 52) 11 Deans Farm, The Causeway, Caversham RG4 5JZ
- 53) The Flowing Spring, Henley Road, Playhatch RG4 9RB
- 54) 17 Boston Avenue, Reading RG1 6JU
- 55) 18 Oaklands Road, Bulmershe Road, Reading RG1 5RW

- 56) 18 Nicholas Road, Henley on Thames RFG9 1RB
- 57) Hill House, Milley Lane, Hare Hatch RG10 9TH
- 58) 6 Ouzel Chase, Bracknell RG12 8DU
- 59) 35 Grange Road, Bracknell RG12 2HY
- 60) Houseshoe House, Castle End Road, Ruscombe RG10 9XG
- 61) 7 Walnut Tree Close, Ruscombe RG10 9PF (x3)
- 62) Crantock, 102 London Road, Ruscombe RG10 9HH
- 63) 133 London Road, Ruscombe RG10 9HA
- 64) Horseshoe House, Castle End Road, Ruscombe RG10 9XG
- 65) Lashbrook, Lashbrook Road, Lower Shiplake RG9 3NX
- 66) 6 Gredier Close, Shinfield RG2 9EZ
- 67) 9 Birch Close, Sonning Common RG4 9LE
- 68) 25 Old Bath Road, Sonning RG4 6SY
- 69) Knowl Hill Lodge, Knowl Hill Common RG10 9YD
- 70) 19 Fern Drive, Taplow SL6 0JS
- 71) 92 Broomhill, Cookham Rise SL6 9LQ
- 72) 88 Woodward Close, Winnersh RG41 5UU
- 73) 64 Watmore Lane, Winnersh RG41 5JT
- 74) 42 Orchard Avenue, Addlestone KT15 3EA
- 75) 16 Sandhills Way, Calcott RG31 7PQ (x2)
- 76) The Rt Hon. Theresa May MP, House of Commons

The submissions were all in support of the proposal and noted the following:

- Supports the local businesses
- Is independent
- Business is much valued by the local community
- Staff are friendly
- Provides a good variety of plants
- Have provided essential support during the pandemic
- Is a good resource for the elderly

Officer comment: These observations are all noted in the consideration of the principle of development in the Green Belt. See 'Principle of Development'.

- Will allow for financial security
- It will allow for it to be more competitive against the national chains
- Should be able to plan for the future
- An extension is necessary given the limitations of the lockdown

Officer comment: The above observations were noted by the Inspector in the original appeal decision as demonstrating very special circumstances and a reconsideration of these matters is provided in 'Principle of Development'.

- Will allow for increased range
- Insufficient room for existing retail use

Officer comment: A consideration of range and floorspace is subject to balanced consideration against the original horticultural use, amongst other factors.

- Has been unfairly treated in the past
- Sheeplands has suffered enough
- None of the previous Council concerns have proven valid

Officer comment: These are noted as site specific matters that are not valid planning considerations.

- Is within walking distance of Ruscombe
- Site is conveniently located

Officer comment: The site is noted as sustainably located, as noted in 'Principle of Development'.

- Should be returned to its former glory

Officer comment: The site did not previously include 680m<sup>2</sup> of retail floorspace.

- No other facility to provide organic produce

Officer comment: It is considered highly unlikely that the retail shop at Sheeplands Hare Hatch does not provide items that cannot be found elsewhere in the surrounding area.

## **APPLICANTS POINTS**

As set out at the time the first application for the garden shop was submitted, Hare Hatch Sheeplands is being re-built. It continues to be the case that this will take time, investment and is subject to the seasons and weather in terms of its ability to make progress. Now that the site is operating fully within the extant consents that apply to the site, a planting plan has been established and actioned, this demonstrates a commitment to growing and to the horticultural use of the site in creating an overall sustainable business model.

This proposal seeks to secure a further temporary planning consent that will enable HHS to sell gardening related goods (as set out in the Inspector's decision letter at Condition 4), as it has done for over 20+ years.

The proposals seek to add a further small area of land (182 sqm), which will be used for additional tree and shrub display and sales and which would not be inconsistent with the current uses on the site. The RIA confirms that the proposals have been fully assessed and it has been demonstrated that there would not be any significant adverse impacts on the vitality and viability or planned investments within nearby centres.

It is considered that this small addition of display for goods which comprise goods included within the Inspector's list would not make any difference to and be consistent with the Inspectors determination.

The circumstances have not changed since the Inspector's decision, indeed if anything the Global Pandemic has made the situation more acute. The application is for a change of use for a temporary period of time, during which time the nursery will be able to re-establish and as previously to avoid ambiguity given the imposition of the Injunction Order a planning application is required to provide clarity and certainty for both the applicant and the Council.

The site is located within the Green Belt and within the Countryside. Given the Inspector's decision it is submitted that the same very special circumstances prevail, which were accepted by the Inspector in the appeal decision ref; APP/X0360/W/18/3193969, are as a consequence of the debilitating impact of the pandemic as applicable at this time as at the time of the said appeal.

<b>PLANNING POLICY</b>		
National Planning Policy Framework 2021	Section 6	Building a Strong, Competitive Economy
	Section 14	Protecting Green Belt Land
	Section 15	Conserving and Enhancing the Natural Environment
Core Strategy 2010	CP1	Sustainable Development
	CP2	Inclusive Communities
	CP3	General Principles for Development
	CP6	Managing Travel Demand
	CP9	Scale and Location of Development Proposals
	CP11	Proposals outside Development Limits
	CP12	Green Belt
Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC06	Noise
	CC07	Parking
	CC09	Development and Flood Risk
	TB01	Development within the Green Belt
	TB18	Garden Centres and Other Small Rural Units outside Development Limits
TB20	Service Arrangements and Deliveries for Employment and Retail Use	
Borough Design Guide SPD	Section 6	Parking
	Section 7	Non-Residential
	Section 8	Rural and Settlement Edge

## **PLANNING ISSUES**

### **Description of Development**

1. Planning application 173316 was approved at appeal on 14 March 2019. It involves the change of use of 499m<sup>2</sup> of indoor and outdoor floorspace from horticultural to nursery related sales. The types of items were restricted to garden and horticultural related items and the permission was temporary for three years (to 14 March 2022). The reason for the temporary permission was *"to allow the horticultural business to grow and allow sufficient time to review with the Council the requirements for the business and future plans for the wider site. As the local planning authority notes, it would also provide an opportunity to assess the effect of the use on the Green Belt and countryside"*. (paragraph 40 of appeal decision APP/X0360/W/18/3193969)

2. The subject application involves the continuation of the temporary permission for a further two years to 14 March 2024, plus the further change of use of 182m<sup>2</sup> of outdoor nursery space in the north eastern corner of the site from horticultural to the sale of trees and shrubs.

### **Site Description**

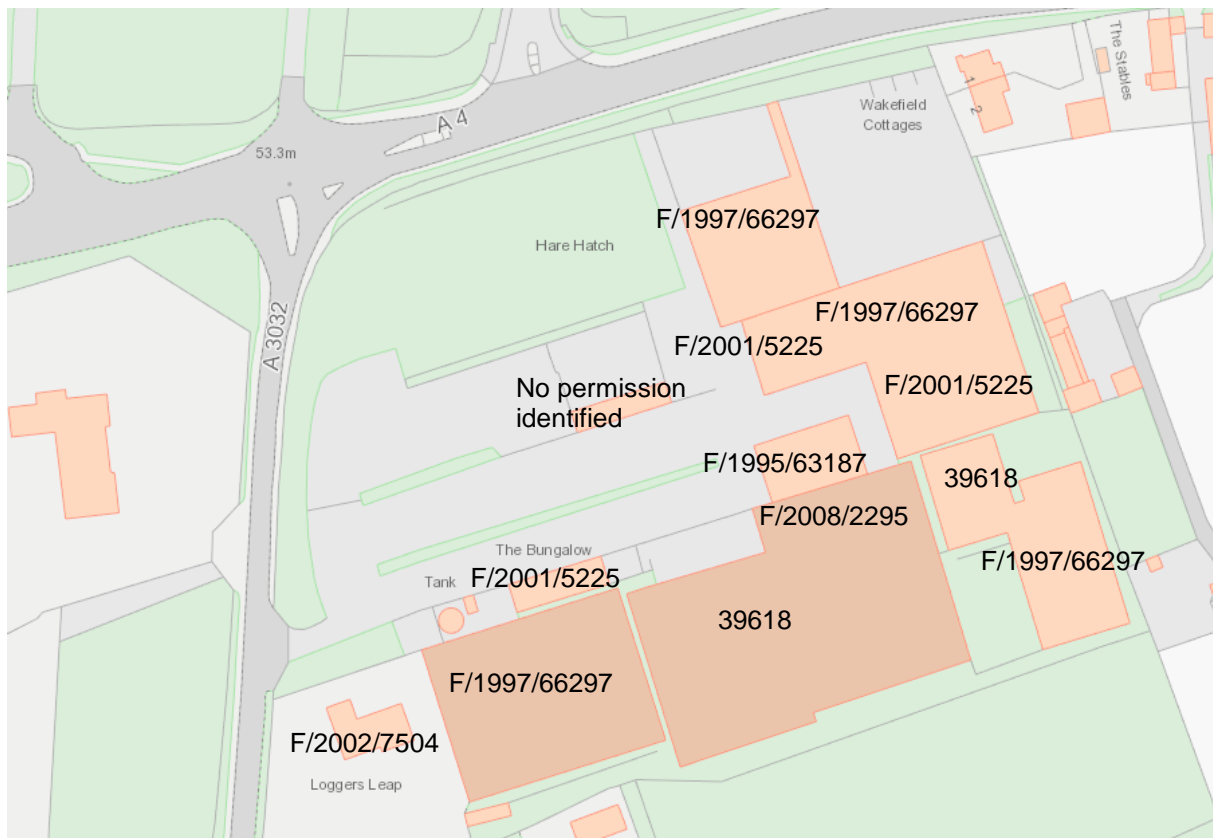
3. The wider site occupies a prominent corner location at the intersection of Bath and London Roads. It comprises a large collection of greenhouses and buildings that comprise a horticultural nursery, farm shop, café (with outdoor seating), retail floorspace, offices and a periodic event space but otherwise appears open and rural. There is also a residential dwelling in the south western corner which has an agricultural/horticultural occupancy condition, and a car park and service yard within the centre of the site. The surrounding area includes a collection of nurseries collectively known as the Floral Mile, with dwellings and commercial buildings interspersed throughout.

### **Principle of Development**

4. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. Policy CC01 of the MDD Local Plan states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay unless material considerations indicate otherwise. However, both documents seek to resist inappropriate development in the Green Belt.

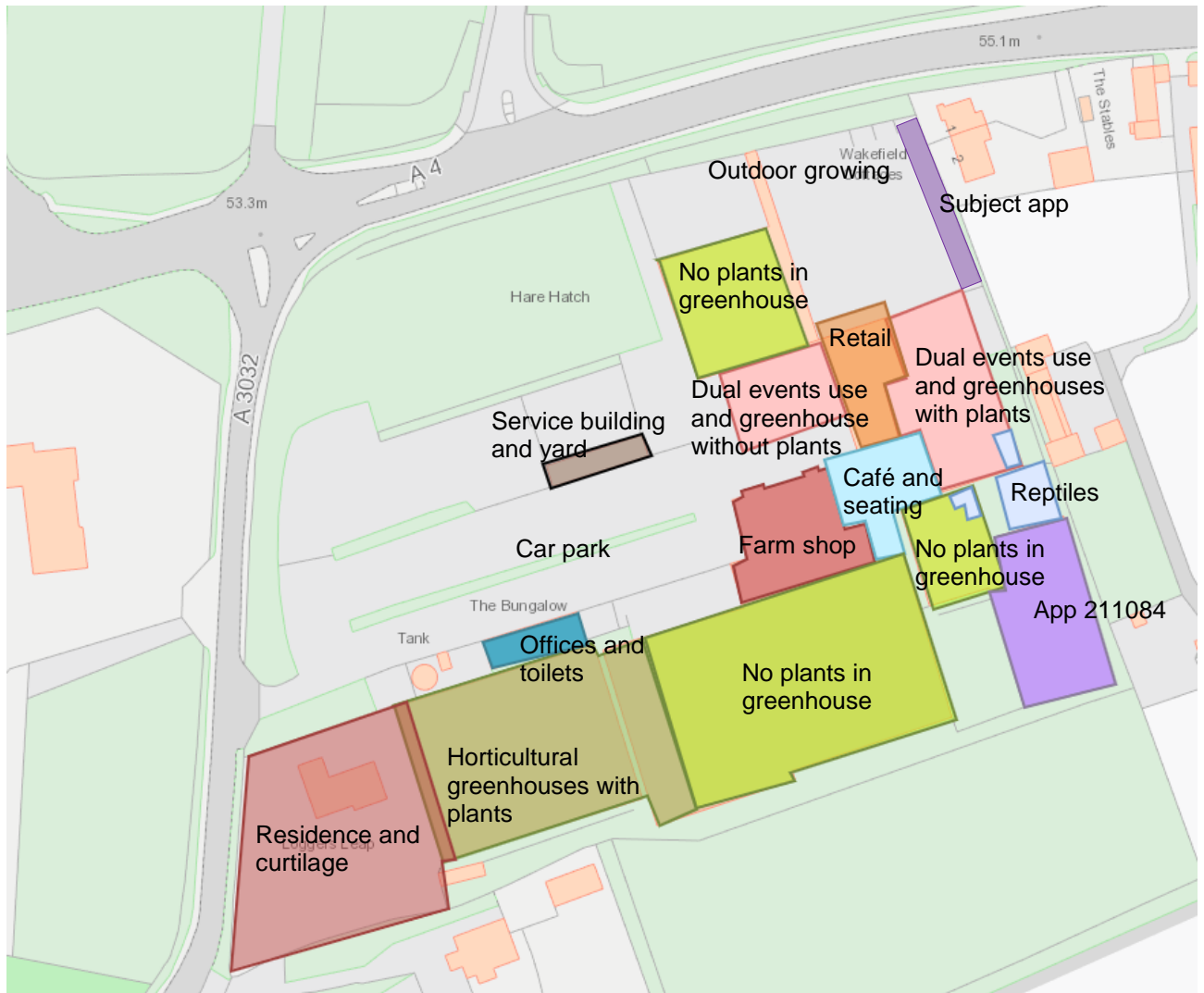
### **Site history and change of use**

5. The site originally formed part of the Twyford Fruit Farms holding with glasshouses on the site for several decades. In 1989, a Section 64 Determination was issued for use of the site as a containerised tree nursery for sale by wholesale and retail. An earlier legal agreement relating to this site and land to the south and west restricted sales to natural produce picked from the land with sales from a mobile kiosk.
6. Various planning applications followed to replace existing structures and enlarge operations for horticultural use. The following approvals for building works are associated with the original horticultural use:



Approvals for horticultural buildings

- a) 39618. approved in 1993, which represented the recommencement of existing horticultural operations and granted approval for a barn for the storage of nursery materials along with replacement polytunnels, subject to there being no retail sales from the barn
  - b) F/1995/63187, approved in 1996, granting approval for a barn for horticultural use
  - c) F/1997/66297, approved in 1997, granting approval for eight greenhouses and covered walkways for horticultural use and measuring 5,128m<sup>2</sup>, with a condition ensuring that the only trees and shrubs to be sold were those grown on site
  - d) F/2001/5225, approved in 2002, granting approval for two additional glasshouses and an office/toilet block. It included a condition limiting the use of the horticultural buildings to ancillary to horticultural/agricultural
1. Since 2002 there has been a gradual change from a wholesale tree nursery to a site that comprises a mixed use far removed from the original tree nursery:



Approved uses on site (not including potential breaches)

- e) F/2002/7504, approved in 2003, granting approval for a detached dwelling house with a horticultural tie to the business
- f) F/2007/0225, approved in 2007, granting a change of use of the barn approved in F/1995/63187, to a farm shop
- g) A/07/2054755, an appeal upheld in 2008, removing the restriction that the sale of produce in the farm shop was limited to that grown within a 10-mile radius
- h) A/07/2054755, the same appeal upheld in 2008, allowing the change of use of greenhouse display space to a café
- i) F/2008/2295, approved in 2009, granting an extension to the farm shop for a butchery
- j) 172161, approved in 2017, allowing the addition of a fishmonger in the farm shop
- k) W/18/3193969, an appeal against the refusal of 173316 upheld in 2019, granting approval for the temporary change of use of part of the greenhouses for retail nursery sales
- l) 191519, approved in 2019, allowing mixed use of part of the greenhouse for timber storage for residential use
- m) 191520, approved in 2019, allowing an enlargement of the car park, mobile dinosaur and use of the service yard for all mixed uses
- n) 192018, approved in 2020, allowing temporary use of the greenhouses as an events space for stallholders over 24 days per year

- o) 201047, approved in 2020, allowing a temporary change of use for the housing and public display of reptiles and exotic animals
  - p) 201693, approved in 2020, granting approval for an enlarged café kitchen and butcher storage
  - q) 201777, approved in 2020, granting approval for works to the farm shop, some outdoor retail space and outdoor café seating
  - r) There has also been some non-enforcement relating to additional café seating to allow for social distancing during the pandemic
  - s) 211084 for 670m<sup>2</sup> of exhibition space (decision pending)
  - t) 211085 to extend the temporary period in 192018 for the events use (decision pending)
  - u) The subject application for the extension of and continuation of temporary retail space
2. An Enforcement Notice served in 2013, and an associated High Court Injunction obtained in 2017, prevents unauthorised uses of land at Hare Hatch Sheeplands. For information, there was further committal hearing in the High Court for breach of the injunction for which the landowner received a suspended sentence. It appears to the Council that there may currently be breaches of planning control and these are under investigation.
3. There have been 15 planning applications for further development on the site since 2019. Of them, 10 have been allowed (and three not yet determined). As part of the 2019 appeal, the appellant submitted evidence to demonstrate genuine efforts to re-establish the horticultural nursery and reinvest. The appellant claimed that 499m<sup>2</sup> of retail floor space for a temporary period would be sufficient to generate enough income to support the horticultural business and enable investment. This is referenced by the Inspector in the appeal decision dated 14 March 2019, (see Appendix 3) at paragraph 8.

*“Hare Hatch Sheeplands is located within the Metropolitan Green belt where new development is strictly controlled. It comprises a nursery, which the appeal relates to, a café and a farm shop. The application is for a nursery sales area for a temporary period of three years in order to allow the horticultural business to grow and provide sufficient time to review with the Council the requirements for the business”*

4. The following was also noted at paragraph 29:

*“Customers visiting a nursery expect to be able to buy related products. Whilst the range of products proposed for sale goes beyond that which I have found to be ancillary...On the basis of the submitted financial information, it is apparent that a sales area selling these items would help safeguard the existence of the nursery and help the business grow by increasing turnover and profitability.”*

5. And at paragraph 19:

*“If it is as popular as is hoped for the sales area the sales area would also make the site busier with noticeably more visitors. This would manifest itself in increased car parking associated with visitors, staff employed in the sales area and more deliveries which would adversely affect openness. However, the*



*temporary three-year nature of the permission sought to lessen the harm to openness that would be caused.”*

6. There is no doubt that the Inspector 1) believed that the 499m<sup>2</sup> of retail floor space would cause harm to the Green Belt and 2) he accepted the appellant’s case that the purpose was to generate income to keep the horticultural business afloat and enable it to reinvest in horticultural activities.
7. Since 2019 there have been numerous applications for non-horticultural development such as car storage (retrospective application withdrawn), keeping of reptiles (approved) and an events business (approved) in addition to the subject application (inclusive of a further 182m<sup>2</sup> of space) and the other two concurrent applications 211084 and 211085. Given that the appeal was allowed in March 2019 and applications for further development submitted within a matter of months, it seems likely that the appellant was aware of these intentions but they were not mentioned to the Inspector in 2019 appeal hearing. It is unknown whether the inspector would still have allowed a temporary change of use to enable the nursery to re-establish, had he been told about these other impending non-horticultural uses.
8. The appellant made no mention of the need or desire to diversify activities on the site in order to re-establish the horticultural business. 28 months after the appeal decision, 15 further applications had been submitted for various other uses, raising the question of whether there was genuinely an intention to re-establish a horticultural nursery use on the site. The expansion of non-horticultural uses, both authorised and unauthorised, reduces the floor space and site area available for the horticultural business.
9. The following table gives a clear indication of the limited extent of horticultural uses currently being undertaken on the site and the extent of other uses. NB: The figures are broad estimates based on an inspection of the site in May 2021. The figures vary significantly from those contained in officer reports for previous planning applications as those figures did not include potential breaches or current uses or that some buildings have been demolished over time. They also differ from other figures in this report as it includes all existing uses/potential breaches as opposed to lawful uses.

	Indoor	Outdoor	Total	%
Currently approved for <b>and</b> solely in horticultural use	2550m <sup>2</sup>	1120m <sup>2</sup>	3670m <sup>2</sup>	27.1%
In other non-horticultural uses, including temporary uses, potential breaches, and current applications (211084 and 211086) but excluding car park, service yard and grassed areas to the north and south	8850m <sup>2</sup>	1015m <sup>2</sup>	9965m <sup>2</sup>	72.9%
Total	11,400m <sup>2</sup>	2135m <sup>2</sup>	13,535m <sup>2</sup>	100%

10. It should also be noted that there are two other concurrent applications – 211084 for an extension of the temporary permission for events use and 211085 for an extension of the temporary permission for events use.
11. The Inspector found that in 2019, on the basis of income generated from retail sales and the nature of the goods sold, the retail use would not be ancillary to a nursery and constituted a material change of use. The Council considers that along with other non-horticultural uses the site has within a very short space of time and through the submission of piecemeal applications is incrementally changing from horticulture to a mixed use, albeit some of the approved changes are temporary and thus

enabling the Council to ensure the mixed, non-horticultural use does not become permanent.

#### Location within the Green Belt and countryside

12. The site is located outside settlement limits within the Green Belt and the Countryside. Development is ordinarily resisted or restricted by Paragraphs 147-150 of the NPPF, which states that new development in the Green Belt is inappropriate, unless it meets specific exceptions. Inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances.
13. Similarly, Policy CP12 of the Core Strategy and Policy TB01 of the MDD Local Plan state that planning permission will not be granted for inappropriate development and where it is not inappropriate, it must maintain the openness of and not conflict with or harm the purposes of the Green Belt. There is consistency in these policies with the NPPF (and the Inspector found so in the previous appeal decision) and so these policies have considerable weight.
14. Policy CP11 of the Core Strategy also does not permit development outside of development limits except if in the case of diverse and sustainable rural enterprises or in the case of other countryside based enterprises and activities, it contributes and/or promotes recreation in, and enjoyment of, the countryside and does not lead to excessive encroachment or expansion of development away from the original buildings; and is contained within suitably located buildings which are appropriate for conversion.
15. The relevant considerations for development in the Green Belt are outlined in Paragraphs 147-150 of the NPPF:  
  

*Whether the proposal would be inappropriate development for the purposes of Section 13 of the NPPF and Development Plan policy*
16. The NPPF states that new buildings/development in the Green Belt are inappropriate by their nature unless they fit into certain exception criteria.
17. The original approval for retail floorspace within the greenhouse constituted a material change of use and was deemed to be inappropriate development. There is nothing in the submission or in the Council's review that would depart from this stance with the range of products, size of the floorspace and sales of imported products resulting in the continued conclusion that the retail use was not *de minimis*.
18. Rather, the retail space is expanding to include additional outdoor space in the north eastern corner of the site. This is also inappropriate development - the only possible exception is under part (e) of paragraph 150 which allows for "*material changes in the use of land (such as changes of use for outdoor sport or recreation, or for cemeteries and burial grounds)*". However, a retail use would not be envisaged as part of this consideration.

*The effect of the proposal on the openness of the Green Belt and Countryside*

19. The NPPF highlights that the fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open and that the essential characteristics of Green Belts are their openness and their permanence.
20. The business first operated as a horticultural enterprise growing trees and shrubs on site. This was then expanded with the erection of additional greenhouses and buildings to allow expansion of the business and then trees, and shrubs were brought from off site. This eventually also included the sale of non-horticultural items (items usually found in garden centres) and over time, a farm shop and café were included. A retail nursery, additional event space, housing of exotic animals, additional café seating, back of house butcher and fishmonger space and a farm shop canopy were most recently granted approval. There has been continued and has gradually reduced the openness of the Green Belt.
21. Paragraph 19 of the recent appeal decision for the retail floorspace noted the following with respect to openness:

*The proposed sales area would mainly be contained within glasshouses. Whilst permanent these buildings, by virtue of the thin aluminium frames and extensive use of glass, are lightweight in nature and are not of substantial construction. With regard to the smaller outdoor element of the sales area, with the items proposed to be sold there would be a slight reduction in openness. If it is as popular as hoped for the sales area would also make the site busier with noticeably more visitors. This would manifest itself in increased car parking associated with visitors, staff employed in the sales area and more deliveries which would also adversely affect openness. However, the temporary three-year nature of the permission sought lessens the harm to openness that would be caused.*

22. The Council has commissioned an assessment of the financial information submitted by the business as part of this application. It shows that since 2019, sales from the retail space have been higher than anticipated and increased as a proportion of the overall nursery sales (when excluding the farm shop and café) and as a total overall. It is now the dominant sales, representing well in excess of 50% of turnover. This has in turn driven increased nursery sales. This would almost certainly manifest itself in increased visitor movements and deliveries as anticipated by the Inspector.
23. The provision of 182m<sup>2</sup> of additional retail space would similarly have adverse impact upon the openness of the Green Belt. The ability to sell directly to the public allows for larger and more diverse species and a higher turnover of product and this would increase the appeal to customers. However, this would be reflected in additional deliveries by large vehicles, the associated plant to unload large, heavy specimens, additional customers and movement of plants not being grown on site and further harm to the openness of the Green Belt from.
24. On the basis of this assessment, the adverse impact adds to this cumulative, creeping detrimental impact upon the character of the wider area and the openness of the Green Belt and Countryside. So, in conclusion, the permanent change of use and the additional sales area are inappropriate, harmful, and unacceptable and even a temporary extension of time is inappropriate, harmful, and unacceptable. However,

the report now turns to consider whether there are any special circumstances which would enable a further extension of the temporary period to be allowed.

*If it is inappropriate development, whether the harm by reason of inappropriateness, and any other harm, is clearly outweighed by other considerations, so as to amount to the very special circumstances necessary to justify the development*

25. The Inspector found that a temporary planning permission would be harmful but allowed it on the basis of very special circumstances. The appeal decision notes:
- Customers' expectations, re-building of the nursery: Allowing increased range and choice to customers to compete with other surrounding businesses, broadly consistent with paragraph 84 of the NPPF
  - Popularity and value to the community: Numerous letters in support of the proposal
  - Employment: Providing job security for existing employees and three additional FTE positions and positions for younger people
26. A temporary permission was granted to allow:
- The horticultural business to grow
  - Sufficient time to review with the Council the requirements for the business and future plans for the wider site and
  - An assessment of the effect on the Green Belt and countryside.
27. The applicant claims that there is a need to be competitive because of its location within the Floral Mile close to garden centres. The applicant says that the upgraded and diversified businesses at Dobbies and Ladds have added to this situation. Paragraph 84 of the NPPF seeks to support business growth in rural areas and underpins this approach. However, this is a fallacious argument because Dobbies and Ladds both operate as lawful garden centres whereas Hare Hatch Sheeplands is a horticultural use and has argued that the need for 499m<sup>2</sup> of retail floorspace is to enable it to support the horticultural business whilst it re-establishes and reinvests.
28. 76 representations were received in support of the application. Employment continues to be provided and it is noted that many of the representations refer to the friendliness and knowledge of the staff as a reason for visiting.
29. However, these were relevant very special circumstances at the time of the original assessment of the application and the granting of a temporary permission. There would need to be additional very special circumstances more than those noted above to justify any further extension to the temporary period. As the 499m<sup>2</sup> of retail floor space have been in operation for two years it is now possible to look at what income has been generated and what investment in the horticultural nursery has taken place and, what business growth has occurred, what future plans have been supplied and what impact there has been on the Green Belt and countryside.
30. No business plan has been supplied and at the request of the Council, a set of incomplete financial records were submitted. These have been reviewed by the Council's external consultant with the conclusions being that the retail use has started to become the dominant use of the site with sales turnover representing more than half of the overall nursery turnover. It is concluded that increased reliance upon

a non-horticultural part of the site makes the nursery use less sustainable in the long term, even with further investment. It is also concluded that the farm shop was the main driver of footfall to the site. Overall, though, it remained difficult to conclude that the business was now viable because of a lack of financial detail.

31. The Council's external consultant reviewed the agent's further correspondence and concluded the following:

*"The Applicant and Boyer have still failed to provide a suitable justification and evidence base for the substantial decrease in predicted turnover (42 to 57% per quarter) for the farm shop (and coffee shop) if the garden shop temporary planning permission was not granted. Boyer have also provided evidence to support the farm shop being one of the main drivers of footfall with more transaction/customers over the 7-month period than the plant nursery and garden shop combined. At this point in time, it is still Continuum's opinion that the Applicant has not provided a robust enough justification to support the assertion that the wider site would not be viable if the temporary planning permission was not granted. The Applicant is requested to provide a detail evidence base to support the assumptions made in the 2022 projections."*

32. 28 months (or 77%) of the temporary period has passed since the original approval. Some discussions with the applicant have occurred but nothing of substance has been provided. The applicant has provided a masterplan showing redevelopment of the site to a garden centre. This represents a material and wholesale change of use of the entire site and is contrary to Green Belt policy and it does not have the Council's support. As indicated in paragraph 9 above, it is only two years since the applicant told the Inspector that the intention was to re-establish a horticultural nursery. Whether the inspector would still have allowed a temporary change of use to enable the nursery to re-establish, had he been told about these other impending non-horticultural uses *and the masterplan* is unknown.
33. As noted above, there have been higher than forecasted trade and income from the 499m<sup>2</sup> of retail sales and this would have manifested in additional customer and delivery movements. In addition, the cumulative piecemeal approach to several non-horticultural use planning applications and alleged breaches of planning control have led to a degree of clutter across the site, harming openness and the character of the area.
34. Instead, the main justification for the planning application (and the lack of a business plan) is because the process of reinvestment in the business has been curtailed by the Covid-19 pandemic and because of the increased competitiveness from larger nearby garden centres. In the interim period, there has been a collection of ad hoc planning applications for various areas of the site none of which seem to have formed the wider viability of the business as a horticultural nursery as its basis.
35. Moreover, the applicant seems to be implying that there would be a continued need for a retail element by stating *"Customers continue to expect such an arrangement as prevails at HHS and expect to be able to buy garden related products which are required to care, maintain, and grow their plant purchases, regardless of the fact that the horticultural part of the business is still only at an early stage of re-building. Without such products on sale alongside the plants (albeit a limited range of plants at*

*present), it will be difficult to attract plant buying customers to site, which is clearly fundamental to its economic sustainability.”*

36. Further, the subject application seeks to increase the retail floorspace by 37% with an additional 182m<sup>2</sup> of retail space in the north eastern corner of the site. It is proposed plants to be imported and sold direct to the public rather than growing them on site. This is a retail use, not horticulture. There is very limited explanation for the need for the additional retail floor space aside from space limitations within the existing 499m<sup>2</sup>.
37. It seems unlikely that the pandemic would have had much impact on a horticultural use. The Covid-19 pandemic had less economic impact upon garden centres as these remained open during most of the locked down period. In the case of Hare Hatch Sheeplands, the outcome of the pandemic has been to substantially increase turnover at the farm shop by 185%. There has been a broadly positive impact on the business, especially the farm shop. The main business that suffered was the cafe due to it being closed for the longest period. Therefore, the level of detrimental impact upon the business is disputed. However, it is unquestionable that the combined effects of Brexit and Covid-19 have added to a high degree of economic uncertainty for all businesses across the country. On this basis, a further one-year extension to the three-year temporary use (until March 2023) which includes the additional 182m<sup>2</sup> of retail floor space. Condition 2 therefore limits the permission until 14 March 2023.
38. Notwithstanding, the failure to provide any substantive financial details or projections or any long-term viable proposal for the site remains of significant concern. Accordingly, Condition 3 also requires the submission of a business case to be submitted to and approved by the Council by 14 March 2022 (the end date of the original permission). Failure to do so would result in the permission expiring.

### Sustainability

39. Policies CP1, CP6 and CP11 of the Core Strategy permit development where it is based on sustainable credentials in terms of access to local facilities and services and the promotion of sustainable transport. Being in the Green Belt, the site lacks any ready access to facilities and services and the site is located in an area with very poor sustainability credentials. Public transport is almost non-existent, with the services provided not meeting the Council's standard for a good bus service. Cycling on Bath Road is also unattractive because of high traffic levels, significant speeds and a lack of lighting and infrastructure. Most, if not all, customers would need to drive to the premises.
40. However, in the appeal decision for 173316, the Inspector noted that:

*‘Nurseries are of necessity located in rural areas. Moreover, by the nature of what they sell the majority of customers have to travel by car in order to take home the plants and related items they have bought. Therefore, whilst policy CP6 of the Core Strategy supports granting planning permission where a choice of sustainable transport options is available, given the nature of a horticultural nursery, such provision is not appropriate in this instance.’*

41. The proposal would maintain the heavy reliance upon private car travel in an area that is poorly serviced by public transport and through Twyford town centre which is an Air Quality Management Area. However, it is anticipated that there will be a relatively low amount of additional traffic movements as most visitors will already be visiting Hare Hatch Sheeplands or the garden centres on the Floral Mile at Hare Hatch. On that aspect, the Inspector found the proposal to be acceptable and there is insufficient reason for the Council to depart from this conclusion in this application.

### Rural Retail

42. Policy TB18 of the MDD allows retail development outside development limits where it is connected and economically relates to the primary holding, is ancillary in nature and there would be no adverse impact upon other retail areas.
43. The explanatory text notes that appropriate forms of retail uses (those required to support the primary agriculture use) in the countryside can help support the rural economy. Goods or produce should either have been produced on site or sourced from within the locality. It also states that whilst uses that remain ancillary to the primary business of the site as a garden centre may be acceptable, it is important to ensure that the main garden centre use remains and that a separate commercial use is not established on site. Finally, the most appropriate method of demonstrating that there would be no adverse impact on retail centres or shops is through a sequential test and a retail impact assessment.
44. Policy TB16 of the MDD Local Plan relates to the requirement for a sequential test for floorspace of more than 500m<sup>2</sup> and the provision of a retail impact assessment. Paragraph 90 of the NPPF also states that the retail impact assessment should consider:
- a) the impact of the proposal on existing, committed and planned public and private investment in a centre or centres in the catchment area of the proposal;
  - b) the impact of the proposal on town centre vitality and viability, including local consumer choice and trade in the town centre and the wider retail catchment
45. Hare Hatch Sheeplands has in recent years evolved towards a mix of various uses where it is increasingly appears that the primary holding is no longer horticulture. There appears to be a gradual attempt to replicate the garden centres at Dobbies or Ladds. However, the more recent permissions are temporary in nature on the basis of the Inspector's temporary approval in the 2019 appeal.



Retail products for sale



Retail products for sale

46. In that decision, the Inspector attempted to protect the primary horticultural use with the inclusion of Condition 4, which limited the type of products allowed to be sold in the retail space. These included various garden products (although a recent enforcement investigation found that items such as indoor slippers and children's name plates were being sold). The reasoning behind Condition 4 was that:

*“In order ensure that the items sold are related to and support the horticultural use, the type of goods that can be sold need to be restricted to those that formed part of the application. To check compliance, visits from time to time will need to be carried out by the Council. Whilst the Council’s resources may be*



*limited such checks would be straight forward to carry out and a breach easy to detect. Consequently, I do not consider such a condition would be unenforceable.”*

47. The subject application does not propose to introduce any new products but seeks to increase the floorspace from 499m<sup>2</sup> to 681m<sup>2</sup>, albeit via external space already housing trees and plants. A retail impact assessment was not required under the original approval as the floorspace (499m<sup>2</sup>) was below the 500m<sup>2</sup> threshold. It seems more than a coincidence that the level of floor space that was claimed to be needed to generate sufficient income to support the horticultural business was also just below the threshold to require a retail impact assessment. Since the threshold is now exceeded an assessment has been submitted (Boyer Planning, 24 March 2021).
48. The report focuses on the fact that there is a conglomeration of nurseries and garden centres in the immediate area. This has historically been the case, as evidenced by the reference to the area as the Floral Mile. A town centre location for the retail uses proposed under this application, as part of a wider horticulture use that is supportive of its rural location, is entirely unfeasible and can be discounted.
49. Hare Hatch Sheeplands competes with these surrounding nurseries and garden centres. But, due to its lower trading density, limited stock and smaller floorspace, it is not envisaged to impose unreasonably on the garden centre business at Dobbies and Ladds. The other businesses at Primrose Nursery and Wargrave Plant Centre operate on different business models depending upon their lawful use as a nursery and whether there are any restrictive conditions. The retail sale of garden related items is not in direct competition and the additional 182m<sup>2</sup> of tree sales would not significantly impact upon sales of surrounding businesses. Moreover, this is to be considered against the premise of Paragraphs 84-85 of the NPPF which is to be support business growth and diversification in rural areas.
50. On the basis of the above conclusions, the retail implications of the additional floorspace is acceptable and Condition 4 limits sales within the additional outdoor space to trees only for the same reasoning that the inspector gave for allowing 499m<sup>2</sup> of restricted retail i.e. to ensure that items sold are related to and support the horticultural use.

### **Character of the Area**

51. Policy CP3 of the Core Strategy states that development must be appropriate in terms of its scale, mass, layout, built form, height and character of the area and must be of high-quality design.
52. The proposed use is either unchanged from that originally approved at appeal or involves the sale of trees and plants and as such, there is no unreasonable additional adverse impact upon the character of the wider area. There are, however, other external side effects, including the potential for additional daily traffic movements as noted above in the assessment of the proposal against Green Belt policy.

### **Neighbouring Amenities**

53. The original application was acceptable on amenity grounds because it was internal, centrally located and the house of use were controlled. There have not been any

complaints on the basis of noise and disturbance to neighbours since the original approval. Even when accounting for the cumulative effects of other approvals since the original approval, there are no neighbour concerns.

### **Access and Movement**

54. Policy CC07 and Appendix 2 of the MDD Local Plan stipulates minimum off street parking standards. The existing car park has 161 car spaces, and this has been more recently confirmed to be increased to 201 spaces under planning application 191520. This satisfactorily accommodates the parking generation rates arising from the existing uses at Hare Hatch Sheeplands, including the nursery retail shop (25 spaces), farm shop (23 spaces) and café (36 spaces plus 24 spaces for outdoor seating) and events space/exotic animals display when it is in use (85 spaces) for a total of 193 spaces.
55. The proposal involves a change of use of outdoor space from horticultural (no parking generation rate) to retail (one space per 20m<sup>2</sup>) although it is not technically defined as floorspace. A total of nine additional car spaces would be required. For the entire site, this would be 202 spaces or a departure of one space.
56. Viewed holistically, though, all of the various uses and areas of the nursery supplement each other and the proposal is highly unlikely to result in a numerical increase of 22 additional vehicle movements. Rather, many visitors will attend two or more of the sites. There is regularly ample capacity within the existing carpark and there is no foreseeable impact on parking provision. It is also unlikely that the proposal would have an adverse impact on the highway network and the Council's Highways Officer has not raised any objection.
57. Planning application 211084 is also being assessed concurrently and it involves a 635m<sup>2</sup> increase in exhibition floorspace. It would represent a further increase of 22 spaces, for a total departure of 23 spaces. However, for the same reasons above, the likely trip generation would be markedly lower than this. The officer report for 211084 notes no objection from the Council's Highways Officer and cumulatively, all of the current applications will be acceptable in terms of parking provision.
58. There remain no objections on traffic generation or access grounds.

### **Landscaping and Trees**

59. As the proposal relates to the change of use of outdoor space to accommodate trees for sale or the continuation of existing sales within the indoor greenhouse, there are no foreseeable landscaping implications.

### **Ecology**

60. There are no ecological implications because there are no external changes.

### **Waste Storage**

61. There is unlikely to be any additional waste generation from the change of use in the north east of the site. Irrespective, the existing facilities at Hare Hatch Sheeplands are viewed as sufficient and no concerns are raised.

## **Flooding and Drainage**

62. The site and access thereto are located within Flood Zone 1 and the proposal represents no additional flood risk or vulnerability. There is no change to the footprint of the building and no external works such that there is also no drainage concern.

## **Contamination**

63. There are no known contamination issues with the proposed use.

## **The Public Sector Equality Duty (Equality Act 2010)**

64. The Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief.
65. There is no indication or evidence that the protected groups identified by the Act have or will have different needs, experiences, issues, and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups. Level access to the retail floorspace is maintained, either within the existing shop or to the additional area in the north eastern corner of the site.

## **Community Infrastructure Levy**

66. Retail floorspace is liable for CIL payments at a rate of £50/m<sup>2</sup>. However, the subject application is not liable because it relates to outdoor space rather than internal floorspace.

<b>CONCLUSION</b>
-------------------




67. The Inspector notes at paragraph 25 of the appeal decision that: *“the Council is concerned that if the appeal is allowed further applications will be made to expand retail sales”*; and at paragraph 26: *“that the appellant would apply for a permission without a time constraint ....If this did occur the planning balance would be altered as the harm caused to openness and the character and appearance of the area would be increased. As a consequence, it does not necessarily follow that permission would be granted”*.
68. It is reiterated here that any applications for further extensions of time, further floorspace or further items beyond the list at condition 4, the planning balance would be altered and due to the harm to openness and character it is unlikely that such applications could be supported.
69. The original approval for 499m<sup>2</sup> of retail floorspace was granted on a temporary basis on the grounds of very special circumstances, primarily to provide income to support the horticultural use whilst it re-established and re-invested. Whilst two thirds of the period have elapsed, only a limited amount of detail and direction has been shared with the Council and as such, the Council is unable to conclude that the

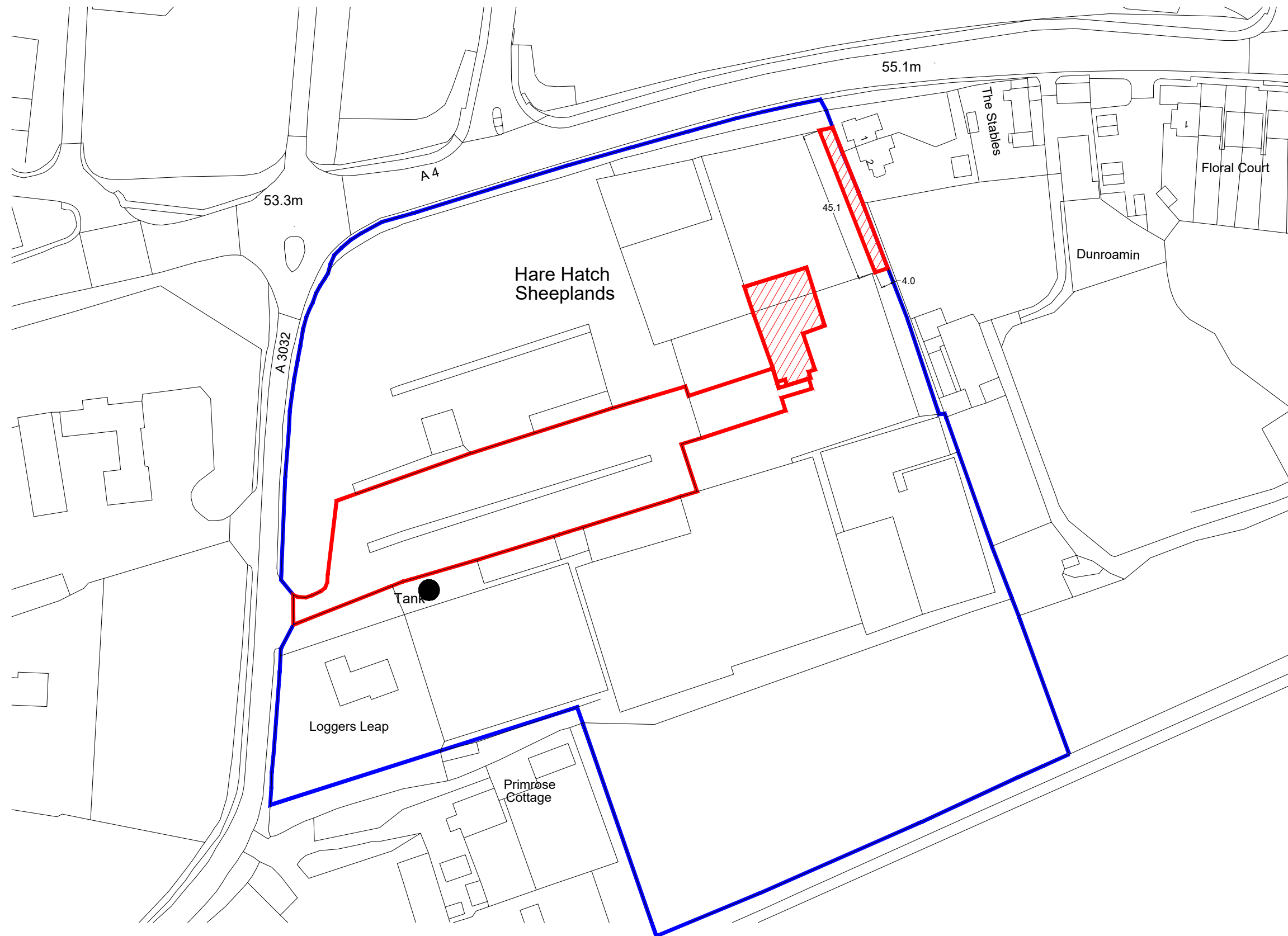
reinvestment in horticulture has occurred or that the horticultural business would be viable into the future.

70. This renders the proposal inappropriate development in the Green Belt and unacceptable. Furthermore, the same very special circumstances (i.e. to provide income whilst the horticultural use re-establishes) do not exist for the proposed additional 182m<sup>2</sup> of retail floor space. However, difficult economic conditions have been experienced in the past 16 months by many businesses as a result of Brexit, the lockdown, and the global Covid-19 pandemic. On this basis, the Council accepts that they amount to very special circumstance and a continuation of the temporary permission for a further 12 months to 14 March 2023 (and not two years as proposed) is recommended as specified in Condition 2 ending in March 2023. Condition 3 also requires the submission of a business case prior to 14 March 2023. Condition 4 restricts the goods that can sold.

**Notes:**  
 This drawing and the works depicted are the copyright of Boyer.  
 This drawing is for planning purposes only. It is not intended to be used for construction purposes. Whilst all reasonable efforts are used to ensure drawings are accurate, Boyer accept no responsibility or liability for any reliance placed on, or use made of, this plan by anyone for purposes other than those stated above.

Do not scale from this drawing. All contractors must visit the site and be responsible for taking and checking Dimensions.

- Key:**
-  Site Boundary
  -  Application Boundary
  -  Garden Shop & Outdoor Tree Sales



A	15.03.21	Outdoor Tree area amended	AW	AJ
-	08.03.21	First Issue	AW	AJ

Rev	Date	Description	Drawn	Chkd
-----	------	-------------	-------	------

Client  
 Harehatch Sheeplands

**Boyer**

Project  
 Harehatch Sheeplands

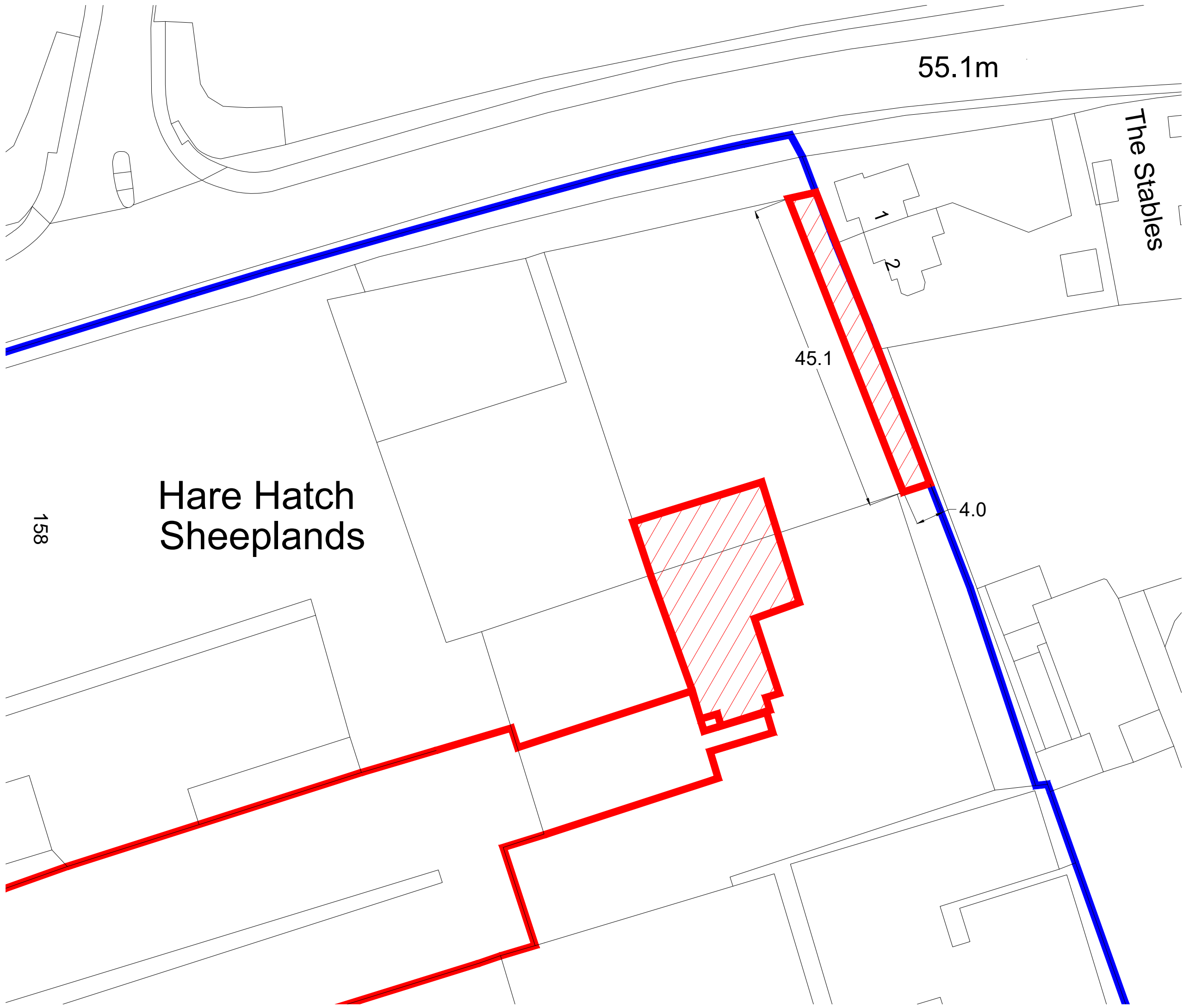
Drawing Title  
 Garden Shop

Drawing No. HH-GS-01 Job Ref. 19.1005

Scale @ A3 1:1250 Revision A




Reproduced from the Ordnance Survey map with the permission of Ordnance Survey on behalf of The Controller of Her Majesty's Stationery Office, © Crown Copyright AR 100007250 Boyer Planning Ltd, Crowthorne House, Nine Mile Ride, Wokingham, Berkshire, RG40 3GZ



**Notes:**  
 This drawing and the works depicted are the copyright of Boyer.  
 This drawing is for planning purposes only. It is not intended to be used for construction purposes. Whilst all reasonable efforts are used to ensure drawings are accurate, Boyer accept no responsibility or liability for any reliance placed on, or use made of, this plan by anyone for purposes other than those stated above.

Do not scale from this drawing. All contractors must visit the site and be responsible for taking and checking Dimensions.

- Key:**
-  Site Boundary
  -  Application Boundary
  -  Garden Shop & Outdoor Tree Sales

Hare Hatch  
Sheeplands

The Stables

158

55.1m

45.1

4.0

A	15.03.21	Outdoor Tree area amended	AW	AJ
-	08.03.21	First Issue	AW	AJ
Rev	Date	Description	Drawn	Chkd

Client  
Harehatch Sheeplands

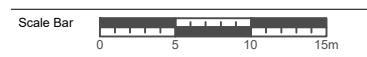
**Boyer**

Project  
Harehatch Sheeplands

Drawing Title  
Garden Shop

Drawing No. HH-GS-02 Job Ref. 19.1005

Scale @ A3 1:500 Revision A



Reproduced from the Ordnance Survey map with the permission of Ordnance Survey on behalf of The Controller of Her Majesty's Stationery Office, © Crown Copyright AR 100007250 Boyer Planning Ltd, Crowthorne House, Nine Mile Ride, Wokingham, Berkshire, RG40 3GZ

PLANNING REF : 211086  
PROPERTY ADDRESS : Council Office  
: Pavilion, Recreation Road, Wargrave, Wokingham  
: RG10 8BG  
SUBMITTED BY : Wargrave Parish Council  
DATE SUBMITTED : 06/05/2021

COMMENTS:

Wargrave Parish Council had no objection to this application.

This page is intentionally left blank





---

## Appeal Decision

Hearing Held on 13 February 2019

Site visit made on 13 February 2019

**by I Radcliffe BSc(Hons) MRTPI MCIEH DMS**

an Inspector appointed by the Secretary of State

**Decision date: 14 March 2019**

---

**Appeal Ref: APP/X0360/W/18/3193969**

**Hare Hatch Sheeplands Nursery, London Road, Twyford, Berkshire RG10 9HW**

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a failure to give notice within the prescribed period of a decision on an application for planning permission.
  - The appeal is made by Hare Hatch Services Limited against Wokingham Borough Council.
  - The application, Ref 173316, is dated 10 November 2017.
  - The development proposed is a temporary change of use of part glasshouse and small outdoor area from plant growing to nursery related restricted sales.
- 

### Decision

1. The appeal is allowed and planning permission is granted for a temporary change of use of part glasshouse and small outdoor area from plant growing to nursery related restricted sales at Hare Hatch Sheeplands Nursery, London Road, Twyford, Berkshire RG10 9HW in accordance with the terms of the application, Ref 173316, dated 10 November 2017, subject to the following conditions:
  - 1) The development hereby permitted shall begin not later than three years from the date of this decision.
  - 2) The development hereby permitted shall be carried out in accordance with the following approved plans: 1:500 and 1:1000 application plans received by the local planning authority on 10 November 2017 and the Planning Statement dated 25 September 2017.
  - 3) The use hereby permitted shall be discontinued and all goods and paraphernalia associated with the retail use shall be removed from the application site on or before three years from the date of this decision.
  - 4) No goods shall be displayed or sold other than the following:
    - i.) Bought in plants for immediate sale – including bedding plants, shrubs, trees, house plants etc
    - ii.) Tools and equipment - including forks and spades, hedge shears, loppers, secateurs, gloves, boots etc
    - iii.) Growing media - including composts, grits, sands, bark etc
    - iv.) Fertilisers and chemicals – including fertilisers, pesticides, herbicides, lawn treatments, woodcare, salt etc

- v.) Irrigation - including micro watering systems, hose pipes, watering cans, accessories etc
- vi.) Landscaping and design - including plant supports, fencing, garden arts and ornaments, stones, aggregates, solar lights, etc
- vii.) Containers including - pots - indoor and outdoor (plastic and terracotta), seed trays, hanging baskets, patio tubs, accessories (pot feet, plant caddy's) etc
- viii.) Seeds and bulbs - including seeds, bulbs, seed potatoes, vegetable sets etc
- ix.) Bird/bee/wildlife care - including insect habitats, bird food, hedgehog house's etc
- x.) Grow your own - including netting, vegetable troughs, vegetable beds, plastic growing units (mini greenhouses), greenhouse accessories, allotment accessories etc
- xi.) Christmas trees, decorations and Santa's grotto (seasonal)

### **Procedural matters**

2. An Enforcement Notice served in 2013, and an associated High Court Injunction obtained in 2017, prevents the unauthorised use of land at Hare Hatch Sheeplands. The terms of the Injunction though do not prohibit the submission of further planning applications.
3. Given the planning enforcement history in relation to Hare Hatch Sheeplands, which also includes a ruling that there was an Abuse of Process obtained by the appellant, it is clear that the relationship between the main parties is difficult. In determining this appeal however, I have reached my decision on the planning merits of the application before me.
4. The Council has provided a copy of its officer report on the application. Its conclusion was that if the appeal had not been made against non-determination it would have declined to determine the application in accordance with section 70C of the Town and Country Planning Act 1990. I have therefore treated this report as indicative of the decision the local planning authority would have taken in relation to the application if it had retained its jurisdiction.
5. Hare Hatch Services Limited is in liquidation. However, no evidence has been produced demonstrating that the company has been dissolved. Accordingly, I have determined the appeal on the basis that the right of appeal for Hare Hatch Service Limited remains.

### **Application for costs**

6. An application for costs was made in advance of the hearing by Hare Hatch Services Limited against Wokingham Borough Council. An application for costs was also made in advance of the hearing by Wokingham Borough Council against Hare Hatch Services Limited. These applications are the subject of a separate Decision.

### **Main Issues**

7. The main issues are:

- whether the proposal is inappropriate development in the Green Belt for the purposes of the National Planning Policy Framework ('the Framework') and development plan policy;
- the effect of the proposal on the character and appearance of the area; and,
- if the development is inappropriate, whether the harm by reason of inappropriateness, and any other harm, is clearly outweighed by other considerations, so as to amount to very special circumstances necessary to justify the development.

## Reasons

### *Whether inappropriate development*

8. Hare Hatch Sheeplands is located within the Metropolitan Green Belt where new development is strictly controlled. It comprises a nursery, which the appeal relates to, a café and a farm shop. The application is for a nursery related sales area for a temporary period of three years in order to allow the horticultural business to grow and provide sufficient time to review with the Council the requirements for the business.
9. The local planning authority has argued that the horticultural use and related plant sales at the nursery have been abandoned. Whilst some of the glass houses are not completely weather tight, I saw that they were in a reasonable state of repair. On the basis of the evidence provided it appears that with the unauthorised uses that were occurring few of the glasshouses have been in horticultural use in recent years. However, during this time the nursery continued to house part of the National Collection of Haworthia from which plants for sale are cultivated. Therefore whilst other uses on the site have occurred, I find that as a matter of fact and degree the horticultural use of the nursery and related plants sales have not been abandoned.
10. If the sales from the proposed sales area were ancillary to the horticultural use at Hare Hatch Sheeplands Nursery, or *de minimis*, then the proposal would not constitute a material change of use and so could not be inappropriate development. Outside development limits retail development that is ancillary to a primary existing use is supported by policy TB18 of the of the Wokingham Borough Managing Development Delivery (Local Plan) (WBMDDLDP).
11. Three considerations have been referred to by the parties to determine whether this would be the case: whether the range of products proposed sold would be ancillary; the size of the sales floor area in relation to the horticultural area; and, the proportion of sales made up of imported products.
12. In relation to the first, the range of products that would be sold includes fencing, garden arts, ornaments, solar lighting, stones, aggregates and items for bird, bee and wildlife care. This goes beyond what can reasonably be considered to be ancillary to horticultural use which typically includes items such as growing media, bulbs, containers, fertilisers and chemicals.
13. Turning to the second consideration, I saw during my site visit that a significant amount of the 8,141sqm of glasshouses will be in horticultural use this year, as will a material part of the outdoor growing area. On this basis the proposed sales area of 499sqm represents a small area of the indoor and outdoor space devoted to horticultural use.

14. In relation to the third consideration, the appellant has produced turnover figures for the last two years and a projection for 2019. The projection for this year is that with the new sales area and increased sales of nursery plants turnover for the nursery would be 59% higher than without the sales area.
15. It is not possible to accurately determine how much of this increase would be due to items sold from the proposed sales area and how much would be due to the increased propagation and growing on of plants within the nursery. Although the level of activity in the greenhouses is increasing I saw that this is from a low base. In my judgement, on the balance of probabilities, the sale of products from the sales area would account for materially more than 20% of the nursery turnover. Such a level of sales could not reasonably be considered to be *de minimis*.
16. I have found that the range of products that would be sold from the proposed sales area would not be ancillary to the horticultural use, and that whilst the sales area would be relatively small, the scale of sales would not be *de minimis*. As a result, the proposed sales area would constitute a material change of use, and thus development, and would not comply with policy TB18 of the WBMDDLDP. The proposal therefore falls to be assessed against planning policy in relation to new development in the Green Belt.
17. Paragraph 146 of the Framework states that certain forms of development in the Green Belt are not inappropriate. These include the re-use of buildings of permanent and substantial construction and material changes in the use of land. This is on the proviso that openness is preserved and development does not conflict with the purposes of including land within the Green Belt. In this case, in my view, the most relevant of such purposes set out in the Framework is to assist in safeguarding the countryside from encroachment.
18. Policy CP12 of the Wokingham Borough Core Strategy and policy TB01 of the WBMDDLDP oppose inappropriate development in the Green Belt. In order to define inappropriate development and protect the Green Belt, policy CP12 refers to a previous national policy document and policy TB01 refers to an earlier version of the Framework. However, as both of these documents include the two exceptions described above, for the purposes of this appeal these policies are consistent with the Framework. Having regard to paragraph 213 of the Framework, I therefore attach considerable weight to them.
19. The proposed sales area would mainly be contained within glasshouses. Whilst permanent these buildings, by virtue of the thin aluminium frames and extensive use of glass, are lightweight in nature and are not of substantial construction. With regard to the smaller outdoor element of the sales area, with the items proposed to be sold there would be a slight reduction in openness. If it is as popular as hoped for the sales area would also make the site busier with noticeably more visitors. This would manifest itself in increased car parking associated with visitors, staff employed in the sales area and more deliveries which would also adversely affect openness. However, the temporary three year nature of the permission sought lessens the harm to openness that would be caused.
20. Taking all these matters together, whilst allowing restricted sales for a period of three years would have a limited adverse effect on openness and the erosion of the countryside at this location, it would constitute inappropriate

development. As a result, it would be contrary to policy CP12 of the Core Strategy, policy TB01 of the WBMDDL and the Framework.

#### *Character and appearance*

21. The nursery forms part of the loose cluster of buildings and dwellings at Hare Hatch which are focussed around the roads that pass through the settlement. Bounded on two sides by a road side hedge, its large corner plot sits within a wider agricultural landscape of large hedged fields and occasional copses of trees.
22. In views from Bath Road to the north, the small external extent of the outdoor sales area and the products it would contain would not be readily visible over the height of the boundary fence. In those views that would be possible the sales area would be seen against the taller backdrop of the glasshouses. The increased parking and deliveries associated with the sales area though would be more clearly visible in views from the adjacent roads and from within the nursery. However, the urbanising effect that would result would be lessened by the temporary nature of the permission so that the adverse effect caused to the character and appearance of this rural area would be limited.

#### **Other matters**

##### *Accessibility*

23. Nurseries are of necessity located in rural areas. Moreover, by the nature of what they sell the majority of customers have to travel by car in order to take home the plants and related items they have bought. Therefore whilst policy CP6 of the Core Strategy supports granting planning permission where a choice of sustainable transport options is available, given the nature of a horticultural nursery, such provision is not appropriate in this instance.
24. Reference has been made to policy CP11 of the Core Strategy which relates to development outside development limits. However, as the wording of this policy does not include reference to accessibility or transportation it is not relevant to this matter.

##### *Future intentions of the appellant*

25. Given the history of enforcement at Hare Hatch Sheeplands, the Council is concerned that if the appeal is allowed further applications will be made to expand retail sales. However, each application is assessed on its merits and as allowing this appeal was influenced by the importance of the sale of a restricted range of products to the viability of the horticultural business such circumstances are unlikely to apply to proposals for wider retail use. As a result, granting temporary permission for the development would not set a precedent for future widespread retail use at Hare Hatch Sheeplands.
26. Concern has also been expressed that the appellant would apply for a permission without a time constraint if temporary permission for the development is granted. If this did occur though the planning balance would be altered as the harm caused to openness and the character and appearance of the area would be increased. As a consequence, it does not necessarily follow that permission would be granted.

#### **Other considerations**

27. As I have found that the proposed sales area would be inappropriate development in the Green Belt it should not be approved except in very special

circumstances. It is therefore necessary to consider the grounds put forward by the appellant, to determine whether there are any material considerations which would amount to very special circumstances that would outweigh the harm by reason of inappropriateness, and the harm that I have identified to the character and appearance of the area.

*Customers' expectations, re-building of the nursery*

28. The nature of the horticultural business has changed in the last decade with the wholesale market dominated by very large nurseries and imports. As a result, the majority of smaller traditional nurseries, such as Hare Hatch Sheeplands Nursery, now only sell direct to the public.
29. Customers visiting a nursery expect to be able to buy related products. Whilst the range of products proposed for sale goes beyond that which I have found to be ancillary, it would help the nursery compete with other nearby businesses that also sell plants. On the basis of the submitted financial information, it is apparent that a sales area selling these items would help safeguard the existence of the nursery and help the business grow by increasing turnover and profitability.
30. Such development is supported by policy CP11 of the Core Strategy which supports proposals that contribute to diverse and sustainable rural enterprises. Furthermore, paragraph 83 of the Framework advises that decisions should enable the development and diversification of agricultural and other land based rural activities. This is a matter therefore to which I attach significant weight in favour of the proposal.

*Popularity and value to the community*

31. The appellant has operated the nursery since before the turn of the century and has improved the appearance of the site, which at the time the company took it over was in a rundown condition. A considerable number of letters in support of the appeal and the business have been sent in, including from the local Member of Parliament. There have been no letters of objection. It is clear from the letters received, and from those who spoke at the hearing, that the nursery is a popular, highly appreciated small independent business that is much valued by the local community. As the proposed sales area would help the nursery to survive and develop, I attach notable weight in favour of the proposed development to the public support for the appeal and the value placed on the business by the local community.

*Employment*

32. At the time of the application in November 2017 there were eighteen full time equivalent staff employed at Hare Hatch Sheeplands. The current situation is that there are now ten full time equivalent staff employed in addition to the owner, his partner and the finance director. The sales area would generate employment for three full time jobs. It would also help secure the employment of those people within the existing staff currently working within the nursery.
33. The nursery business also has a track record of providing employment opportunities to young people. Working with local schools it has provided the foundation for the future careers of students in horticulture.
34. Therefore, whilst there is high employment in the area and the lowest ever rate of unemployment nationally, I attach noteworthy weight to the employment

benefits, including in relation to young people, that the proposal would help to secure.

### **Conclusion**

35. The sale of the range of products proposed by the appellant would not be ancillary to the horticultural use or *de minimis* and the re-use of the glass house and outdoor area for this purpose would constitute inappropriate development. By definition, inappropriate development would be harmful to the Green Belt as described in paragraph 143 of the Framework.
36. The harm by reason of inappropriateness in relation to the appeal scheme is added to by the limited harm that would occur to the character and appearance of the area. In accordance with paragraph 144 of the Framework, I attach substantial weight to the harm that would be caused to the Green Belt and the associated harm that would be caused to the character and appearance of the area.
37. However, I find that, cumulatively, the other considerations put forward by the appellant are considerable and, in this case, clearly outweigh the harm to the Green Belt by reason of inappropriateness and the harm to the character and appearance of the area. As a result, the very special circumstances necessary to justify the development exist in compliance with paragraph 143 of the Framework.
38. Reference has been made by the local planning authority to a number of appeal decisions including in relation to Hare Hatch Sheeplands and nearby garden centres. All but one of these appeals were dismissed. However, equally I have been referred to other similar appeal decisions by the appellant which were allowed. It is an established principle that each case is assessed on its merits. The Inspectors in the appeals referred to exercised their judgement on the basis of circumstances of the appeals and the evidence before them, as have I in relation to this appeal. As a consequence, reference to these decisions has not altered my conclusion in relation to this appeal.

### *Conditions*

39. In the interests of certainty, I have imposed a condition specifying the relevant drawings and documents that the development is to be carried out in accordance with.
40. Permission is sought for a temporary period of time to allow the horticultural business to grow and allow sufficient time to review with the Council the requirements for the business and future plans for the wider site. As the local planning authority notes, it would also provide an opportunity to assess the effect of the use on the Green Belt and countryside. The Council refers to use of a planning obligation to ensure that the retail use ceases after three years. However, as the Framework notes, obligations should only be used where it is not possible to secure compliance through the use of a condition. This is not the case here.
41. The appellant's view is that the Council has been uncooperative and intransigent in its approach towards development at Hare Hatch Sheeplands. As a result, a longer period than the three years applied for is now sought. In my judgement however, a three year permission from the date of this decision provides an adequate time period to achieve the appellant's stated aims.

42. In order ensure that the items sold are related to and support the horticultural use, the type of goods that can be sold need to be restricted to those that formed part of the application. To check compliance, visits from time to time will need to be carried out by the Council. Whilst the Council's resources may be limited such checks would be straight forward to carry out and a breach easy to detect. Consequently, I do not consider such a condition would be unenforceable.
43. I have required all these matters by condition, revising, where necessary, those suggested by the Council to reflect the advice contained within Planning Practice Guidance.

*Ian Radcliffe*

Inspector



## **APPEARANCES**

### FOR THE APPELLANT:

Miss Jones	Barton Willmore
Mr Scott	Owner

### FOR THE LOCAL PLANNING AUTHORITY:

Mrs Head	Wokingham Borough Council
Mr Gardner	On behalf of Wokingham Borough Council
Mr Headley	Wokingham Borough Council

### INTERESTED PERSONS:

Mr Heather	local resident
Mr Moore	local resident
Mr A'Bear	local resident

## **DOCUMENTS SUBMITTED AT THE HEARING**

- 1 Appeal Decision ref APP/R0660/X/09/2115961
- 2 Wokingham Borough Council's analysis of Hare Hatch Sheeplands financial information

This page is intentionally left blank

# Agenda Item 29.

Application Number	Expiry Date	Parish	Ward
210693	13 August 2021 (ext)	Sonning	Sonning

<b>Applicant</b>	Mr Simon Jackson
<b>Site Address</b>	Reading Blue Coat School, Holme Park, Sonning RG4 6SU
<b>Proposal</b>	Application to vary condition 13 of 170118 and F/2010/1641 for the erection of a two-storey classroom block, construction of an internal access road (part temporary part permanent) and erection of two temporary buildings containing 4 classrooms following demolition of three existing classroom buildings. Condition 13 refers to pupils enrolled at the school and the variation is to allow for up to 1,100 pupils to be enrolled at the school
<b>Type</b>	Full
<b>Officer</b>	Simon Taylor
<b>Reason for determination by committee</b>	Listed by Councillor Firmager due to traffic, pollution and drainage infrastructure impacts

<b>FOR CONSIDERATION BY</b>	Planning Committee on Wednesday 11 August 2021
<b>REPORT PREPARED BY</b>	Assistant Director – Place

<b>SUMMARY</b>
<p>Reading Blue Coat School lies to the east of Sonning Lane in Sonning with the River Thames to the west. It has operated at the current campus since 1947 as an independent day school for boys with a co-educational sixth form since 1987. There are currently 785 students enrolled at the school.</p> <p>Planning application F/2010/1641 first limited student numbers to 750, with an increase to 825 students in planning permission 170118 The subject application seeks a further increase to 1100 students to cater for projected demand for school places in forthcoming intakes, including expansion of co-educational places to all years.</p> <p>The school campus has several existing car parks but also has a lease agreement to use the existing Berkshire County Sports Club car park opposite the school for coach, student, and staff parking during school hours. Planning application 210694 is being considered concurrently and it seeks an enlargement of the car park to accommodate the increase in student numbers. That application has not been listed for consideration at Planning Committee but the principle of the proposal is acceptable.</p> <p>Objections have been received from Sonning Parish Council, the ward member, Sonning Eye Society and one resident. The primary concerns relate to traffic impacts, lack of infrastructure and air pollution. The Council's Highways Officer has undertaken an extensive review of survey data and transport modelling and concluded that the proposed increase in students can be accommodated without an adverse outcome upon traffic movements on the surrounding roads at the beginning and end of the school day. Parking within the existing grounds and the adjacent car park is also sufficient to accommodate the increased numbers of vehicles.</p> <p>The amendment of Condition 13 of 170118 to allow for an increased intake of 1100 students is therefore supported though this is conditional on the approval and completion of the works in 210694 (see Recommendation and Condition 13) and the continued existence of a lease agreement of the adjacent car park (Condition 18) as</p>

well as an amended Travel Plan (Condition 8) and Parking Management Plan (Condition 15).

#### **PLANNING STATUS**

- Countryside
- Radon affected area
- Landfill gas consultation zone (south western corner)
- Potentially contaminated land consultation zone (south western corner)
- Nitrate vulnerable zone (groundwater)
- Flood zone 1
- TPO 2/1951 (to street frontage and rear boundary adjacent to River Thames)
- Numerous veteran trees across the site
- Bat consultation zone
- Great Crested Newt consultation zone
- Priority habitat (woodland to rear boundary adjacent to River Thames and woodland pasture towards the south western corner)
- Archaeological site (to the northern end of the site)
- Building of Traditional Local Character (main school building)
- Sonning Conservation Area
- Minerals consultation zone
- Classified road

#### **RECOMMENDATION**

**That the committee authorise the GRANT OF PLANNING PERMISSION OF PLANNING APPLICATION 211093 subject to:**

- A) The approval of planning application 210694 for the proposed extension of existing Berkshire County Sports Club car park adjacent to Sonning Lane with associated erection of new floodlighting; and**
- B) The following amendments to planning permission 170118:**

#### **Conditions**

**The amendment of Conditions 3-10, 12 and 13:**

3) **External materials**

The external materials shall be carried out in accordance with the approved details as approved in discharge application C/2011/0186.

*Reason: To ensure that the external appearance of the building is satisfactory.  
Relevant Policies: Core Strategy policies CP1 and CP3*

4) **Wall, roof vent and lantern construction and finishes**

The wall, roof vent and lantern construction and finishes shall be carried out in accordance with the approved details as approved in discharge application C/2011/0186.

*Reason: In the interests of visual amenity.*

5) External lighting

The external lighting shall be carried out in accordance with the approved details as approved in discharge application C/2011/0186.

*Reason: In the interests of amenity and highway safety.*

*Relevant Policies: Core Strategy policies CP1, CP3 and CP6.*

6) Working hours

(deleted)

7) Site operatives

(deleted)

8) Travel Plan

Prior to the end of the autumn term 2021/22, the process and means of updating the Travel Plan shall be submitted to and approved in writing by the local planning authority. Within 6 months of the date of the permission hereby granted, the updated Travel Plan will need to be submitted to and approved in writing by the local planning authority

*Reason: To encourage the use of all travel modes.*

*Relevant policy: NPPF Section 9 and Core Strategy policy CP6.*

9) Landscaping

Any trees or plants which, within a period of 5 years from the date of the planting, die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.

*Reason: In the interests of visual amenity.*

*Relevant Policies: Core Strategy policy CP3 and Wokingham District Local Plan policy and WBE5.*

10) Arboricultural Method Statement

(deleted)

12) Temporary classrooms

(deleted)

13) Maximum number of pupils

The total number of pupils enrolled at the school shall not exceed 1100 at any one time.

The total number of pupils enrolled at the school is not to exceed 825 at any one time until the vehicle parking spaces been provided in accordance with the approved plans in 210694 are completed. The vehicle parking spaces shall be permanently maintained and remain available for the parking of vehicles at all times.

*Reason: In the interests of highways safety.*

*Relevant policy: NPPF Section 9, Core Strategy Policies CP1, CP3 and CP6 and Managing Development Delivery Local Plan Policy CC07.*

### **The addition of Conditions 15-18:**

#### 15) Parking Management Plan

Prior to the end of the first term of the school year 2021/22, a Parking Management Strategy for the management of the parking arrangements shall be submitted to and approved in writing by the local planning authority. The submitted Parking Management Strategy shall include details of the management of all parking spaces and the monitoring and the delivery of additional electric vehicle charging spaces when required.

*Reason: To ensure satisfactory development in the interests of amenity and highway safety.*

*Relevant policies: Core Strategy Policies CP1, CP6 and Managing Development Delivery Local Plan policy CC07.*

#### 16) Waste storage and collection

The increased student numbers hereby permitted shall not operate until details of on-site waste storage and collection area(s) for refuse and recyclable materials and collection arrangements have been submitted to and approved in writing by the local planning authority. The waste storage and collection areas, where required to be amended, shall be constructed in accordance with the approved details and permanently retained as so-approved and used for no purpose other than the temporary storage of refuse and recyclable materials.

*Reason: To ensure the efficient collection of waste materials whilst avoiding highway obstruction and loss of visual amenity, in the interests of a functional development, the character of the area, highway safety & convenience and the quality of the environment.*

*Relevant policy: Core Strategy policies CP1, CP3 and CP6 and Managing Development Delivery Local Plan policy CC04.*

#### 17) Cycle parking details

The increased student numbers hereby permitted shall not operate until details of secure and covered bicycle parking have been submitted to and approved in writing by the local planning authority. The cycle parking shall be implemented in accordance with the approved details prior to any increased student numbers and shall be permanently retained in the approved form for the parking of bicycles and used for no other purpose.

*Reason: In order to ensure that secure weather-proof bicycle parking facilities are provided so as to encourage the use of sustainable modes of travel.*

*Relevant policy: NPPF Section 9 and Core Strategy policies CP1, CP3 and CP6 and Managing Development Delivery Local Plan policy CC07.*

18) Lease agreement

This planning permission is conditional on the continued use via lease agreement (ref: JEG/REA10/74, dated 1 August 2019) between Berkshire County Sports Club and Reading Blue Coat School for the use of the Sports Club car park. The local planning authority is to be notified and must give its agreement in writing prior to the amendment of any terms of the agreement that would prohibit or alter the permitted use of the car park. If the lease agreement (or any subsequent agreements) is terminated, the planning permission is no longer valid.

*Reason: To ensure sufficient car parking for school users.*

*Relevant policies: Core Strategy Policies CP1, CP6 and Managing Development Delivery Local Plan policy CC07.*

**All other conditions of planning permission 170118 are unchanged:**

1) Timescale

(deleted)

2) Approved details

This permission is in respect of plans, 2561 A030 4, 2561 A031 4 (elevations) and 2561 A008 3 (access road) received 15 September 2010; drawing no.s 2561 A010 16, 2561 A011 16, 2561 A020 9, 2561 A009 1, 2561 A004 2, 2561 A021 3, 2561 A012 2, 2561 A006 10 2561 A005 6, 2561 A001 3, received by the Local Planning Authority on 21 July 2010. The development hereby permitted shall be carried out in accordance with the approved details unless otherwise agreed in writing by the Local Planning Authority.

*Reason: To ensure that the development is carried out in accordance with the application form and associated details hereby approved.*

11) Ecological measures

The surveys, mitigation and contingency measures contained within the submitted Ecological Assessment (Ecology Solutions Ltd April 2010) shall be implemented in accordance with the approved plan unless otherwise approved in writing by the Local Planning Authority.

*Reason: In the interests of protected species.*

14) Investigation and risk assessment

An investigation and risk assessment, in addition to any assessment provided with the planning application, must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site, whether or not it originates on

the site. The contents of the scheme are subject to the approval in writing of the Local Planning Authority. The investigation and risk assessment must be undertaken by competent persons and a written report of the findings must be produced. The written report is subject to the approval in writing of the Local Planning Authority. The report of the findings must include:

- a) a survey of the extent, scale and nature of contamination
- b) an assessment of the potential risks to
  - i) human health
  - ii) property (existing or proposed);
  - iii) adjoining land;
  - iv) groundwater and surface water;
  - v) ecological systems.
- c) an appraisal of remedial options, and proposal of the preferred option(s)

This must be conducted in accordance with DEFRA and the Environment Agency's 'Model Procedures for the Management of land Contamination CLR 11.

#### B) Submission Of Remediation Scheme

A detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment must be prepared, and is subject to the approval in writing of the Local Planning Authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

#### C) Implementation Of Approved Remediation Scheme

The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out remediation, unless otherwise agreed by the Local Planning Authority. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works. Following completion of measures in the approved remediation scheme, a verification report (referred to in PPS23 as a validation report) that demonstrates the effectiveness of the remediation carried out must be produced, and is subject to the approval in writing of the Local Planning Authority.

#### D) Reporting Of Unexpected Contamination

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority.

An investigation and risk assessment must be undertaken in accordance with the requirements of condition A, and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of condition B, which is subject to the approval in writing of the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification



report must be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with condition C.

*Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with policy CP1 of the Core Strategy & PPS 23: Planning & Pollution Control*

## **Informatives**

### 1) Changes in this application

Planning permission 170118 is amended in the following manner:

- a) Condition 3 is amended to reflect its discharged status
- b) Condition 4 is amended to reflect its discharged status
- c) Condition 5 is amended to reflect its discharged status
- d) Conditions 6 and 7 are deleted as construction has concluded
- e) Condition 8 is amended to require an updated Travel Plan
- f) Condition 9 is amended to reflect its discharged status
- g) Condition 10 is deleted as construction has concluded
- h) Condition 12 is deleted as the classrooms have been removed
- i) Condition 13 is amended as part of the increased student numbers
- j) Conditions 15-18 are added as additional requirements as part of this variation approval

### 2) Discussion

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of addressing concerns relating to highway and traffic management.

The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

<b>PLANNING HISTORY</b>		
<b>READING BLUE COAT SCHOOL</b>		
<b>App No.</b>	<b>Description</b>	<b>Decision/Date</b>
582/1972	Laboratory and lecture hall	Approved 13 April 1972
1165/1972	Laboratory and lecture hall	Approved 3 August 1972
02059	Pavilion and changing rooms	Approved 20 February 1975
02514	Storage building	Approved 15 May 1975
03292	Storage accommodation	Approved 2 October 1975
04479	Additional classroom and roof repairs	Approved 7 May 1976
05285		Approved 30 September 1976

05606	Demolition of library and class block and new form block, library and additions to classroom	Approved 25 November 1976
07979	Alterations and extensions	Approved 13 April 1978
08519	Three new classrooms	Approved 8 June 1978
10293	Assembly area, dining hall and staff accommodation	Approved 13 April 1979
10668	Staff accommodation and additional classroom	Approved 8 June 1979
11577	Assembly hall and music rooms	Approved 28 August 1979
12508	Extensions to changing rooms	Approved 14 February 1980
19762	Staircase extension	Approved 28 July 1983
19763	CoU of recreation room to laboratory	Approved 28 July 1983
19764	CoU of changing room to art centre	Approved 4 November 1983
19848	Replacement open air rifle range	Approved 28 July 1983
20056	Extension to gymnasium	Approved 25 August 1983
BR 21537	New changing rooms	Approved 11 November 1983
BR 22786	Change of roof to pitched roof	Approved 10 May 1984
20875	Infill and level bonfire field	Approved 2 July 1984
21788	Single storey dining room extension	Approved 26 July 1984
BR 24026	Store building	Approved 4 February 1985
23425	Common room and facilities	Approved 22 May 1985
BR 24732	Alterations to Sixth Form block	Approved 23 May 1985
24391	Two storey classroom	Approved 11 September 1985
26025	Sports fields	Approved 9 October 1986
33285	Extension to gymnasium	Approved 30 May 1989
35548	Two storey teaching and staff room	Approved 30 May 1990
35571	Relocation and erection of classrooms	Approved 30 May 1990
35859	Two satellite dishes	Approved 27 June 1990
BRA 9351	Two storey building	Approved 20 September 1990
FP/1996/5173	New classroom	Approved 30 May 1996
44849	Single storey extension and linkway	Approved 2 October 1995
F/1996/64819	Classroom building	Approved 30 June 1997
F/1997/66271	Three classrooms	Approved 24 June 1987
F/1997/66272		Approved 24 June 1987
F/1998/68268	Rear conservatory extension	Approved 5 November 1998
T/1998/68633	Storage building (temporary)	Approved 5 January 1999
T/1999/70792	Storage building (temporary)	Approved 8 February 2000
CA/2000/2925	Demolition of cadet hut, sheds and wall	Approved 19 January 2001
F/2003/9331	Re-cladding of gym. kitchen extension and alteration to sports hall	Approved 17 September 2003
F/2004/3003	Replacement cricket pavilion	Refused 18 November 2004
CA/2005/4083	Demolition of two cricket pavilions	Approved 22 April 2015
F/2005/4082	Replacement cricket pavilion	Refused 22 April 2005
	Appeal against refusal of F/2005/4082	Upheld 10 April 2005
F/2005/4490	CoU of vacant land to sports field	Approved 24 October 2005
F/2007/1365	Retractable enclosure to pool	Approved 6 August 2007
F/2008/1648	Single storey rear extension to dwelling	Approved 12 September 2008

F/2008/1606	Two storey side and single storey rear extensions to dwelling	Refused 4 September 2008
CA/2008/1901	Replacement boathouse with new causeway and gates	Approved 27 November 2008
F/2008/1900	Replacement boathouse with new causeway and gates	
F/2008/2281	Two storey side extension and single storey rear extensions to dwelling	Approved 13 November 2008
F/2009/2049	Alterations and extension to existing Sixth Form Centre	Approved 30 July 2009
CA/2010/1643	Demolition of three classroom buildings	Approved 14 October 2010
F/2010/1641	Two storey classroom block, access road and two temporary buildings containing four classrooms	
F/2013/0330	Demolition of side extension to 'The Cottage', new plant room, removal of chimneys and rooflights	Approved 24 April 2013
F/2013/0474	Extension to dining/sports hall to provide kitchen and ancillary facilities	Approved 7 June 2013
CA/2013/0790	Demolition of garden wall and extension to dining/sports hall	Approved 28 June 2013
F/2014/2116	Changing room block, demolition of shed and link to pool	Approved 11 March 2015
F/2014/2319	New Performing Arts Centre, Grounds Maintenance & Activity Centre, Design & Technology Centre, temporary Drama Studio, and vehicle drop-off/turning point, demolition of Music Centre, ICT Centre, Way Hall, Drama Studio, Design Technology building, CCF Building and Grounds and Maintenance buildings	Approved 9 July 2015
170118	Variation of Condition 13 for increase in pupil numbers to 825	Approved 18 April 2017
171780	MUGA with fencing and lighting	Approved 19 September 2017
180129	Demolition of 3 bay garage block	Approved 12 March 2018
182281	Partial demolition of Design and Technology buildings and new roof to retained "Old Coach House" building	Approved 9 November 2018
<b>BERKSHIRE COUNTY SPORTS CLUB</b>		
<b>App No.</b>	<b>Description</b>	<b>Decision/Date</b>
201/1950	Pavilion and sports ground	Approved 13 June 1950
C/1/1960	Pavilion	Approved 29 July 1960
PD/176/1961	Store	Approved 18 May 1961
C/1/1961	Store	Approved 15 June 1961
C/2/1964	Extensions to pavilion and caretakers dwelling	Approved 13 May 1965
PD/146/1969	Drainage works	Approved 4 September 1969
C/2/1970	Extension to sports club building	Approved 23 June 1970

C/5/1970	CoU of agricultural land to sports grounds	Approved 6 January 1971
C/7/1970	Additional facilities	Approved 6 January 1971
1062/1971	Squash courts	Approved 25 November 1971
1856/1971	Floodlights	Approved 8 January 1973
1592/1973	Extension of sports ground	Approved 14 November 1973
1723/1973	Extension to pavilion	
BR 16	Extensions to club house	Approved 31 January 1974
03658	Floodlights	Approved 8 December 1975
05656	Extensions	24 February 1977
10057	Storage building	Approved 13 March 1979
BR 10656	New sports/social club	Refused 26 April 1979
10561	Squash courts	Approved 21 May 1979
12848	Squash courts	Approved 8 May 1980
20774	Extension of sports ground	Approved 3 May 1984
21232	Extension of sports ground	Approved 21 May 1984
26964	Extension to changing rooms	Approved 21 January 1987
27750	Storage area	Approved 27 August 1987
F/2001/5526	Temporary building for offices and meeting room for lawn tennis club	Refused 8 April 2002
TP/2002/7568	Temporary building for offices	Refused 19 December 2002
A/03/1119043	Appeal against TP/2002/7568	Upheld 21 October 2003
F/2006/7491	Two artificial pitches with fencing and floodlighting	Approved 21 August 2006
F/2008/2581	Overflow carpark with floodlights (retrospective)	Approved 11 February 2009
VAR/2009/0875	Variation of F/2006/7491 to allow floodlights until 9:30pm on weeknights	Refused 19 June 2009
A/09/2110420	Appeal against VAR/2009/0875	Upheld 2 February 2010
F/2012/2071	Walkover lighting from clubhouse to pitch	Approved 5 December 2012
F/2012/1148	Extensions to clubhouse	Approved 7 August 2012
152174	Replacement of lampposts	Approved 12 October 2015
191526	Variation of Condition 4 of VAR/2009/0875 for the extension of hours of floodlights	Approved 19 August 2019
193377	Variation of Condition 4 of VAR/2009/0875 for the extension of hours of floodlights	Approved 5 February 2020
201422	Tennis court floodlights	Approved 28 September 2020

<b>SUMMARY INFORMATION (inclusive of 210694)</b>		
	<b>Existing</b>	<b>Proposed</b>
Site Area	Campus – 17.9 hectares Sports club car park – 0.43 hectares	
Land use	School and sporting facility car park	
Floorspace	Unknown	No change
Students	785 (conditioned max. of 825)	1100
Staff	155 (includes 65 support staff)	217 (includes 91 support staff)

Parking spaces	Campus – 214 car spaces (includes 185 staff spaces, 16 visitor spaces, 3 disabled spaces, 10 drop off bays and accounts for 24 spaces which will be lost to the performing arts centre yet to be built) and 7 minibus spaces Sports club – 168 spaces in total inclusive of gravel overflow car park with 54 car spaces for school use and 10 coach spaces	Campus – no change  Sports club – 50 additional car spaces for sixth form use and one additional coach space (for a total of 104 car spaces and 11 coach spaces)
Cycle spaces	Campus – 48 Sports club – 10	Campus – 58 Sports club – no change

<b>CONSULTATION RESPONSES</b>	
WBC Education (School Place Planning)	No comments received.
WBC Highways	No objection, subject to a Car Parking Management Plan (Condition 15) and Travel Plan (revised Condition 8).

<b>REPRESENTATIONS</b>	
Sonning Parish Council	<p>Objections raised on the following grounds:</p> <ul style="list-style-type: none"> <li>Substantial increase in student numbers</li> </ul> <p><u>Officer comment:</u> The principle of a 33.3% increase in student numbers is acceptable on traffic and other grounds, as discussed throughout the report.</p> <ul style="list-style-type: none"> <li>Increased traffic congestion along narrow roads</li> <li>Increased traffic congestion at the intersection with the A4 and in Sonning Village</li> <li>Many pupils will drive</li> <li>Increased wear and tear on roads</li> </ul> <p><u>Officer comment:</u> The Council's Highways Officer has reviewed the proposal and raises no objection on traffic grounds or any other impacts on local roads, including road damage. This is discussed in 'Access and Movement' and is subject to the approval of 210694 for the extension of the Berkshire County Sports Club car park and the provision of a Travel Plan and Management Plan in Conditions 8 and 15 respectively.</p> <ul style="list-style-type: none"> <li>Impact upon historic buildings and the conservation area</li> </ul> <p><u>Officer comment:</u> There are no physical building works as part of this application and the campus is physically capable of accommodating increased student numbers. There is an existing approval and future plans, as discussed in 'Character of the Area' but this does not form part of this application.</p>

	<ul style="list-style-type: none"> <li>Increased pollution from idling vehicles</li> </ul> <p><u>Officer comment:</u> Sonning Lane is not identified in the Council's Air Quality Management Area and there are no in-principle objections on air quality grounds.</p> <ul style="list-style-type: none"> <li>No consultation has occurred prior to the submission</li> </ul> <p><u>Officer comment:</u> Whilst pre submission consultation with stakeholders is recommended, this is not contrary to the Statement of Community Involvement.</p> <ul style="list-style-type: none"> <li>Increased sewerage blockages</li> <li>Increased demand on electricity supplies</li> </ul> <p><u>Officer comment:</u> These are not relevant planning considerations and would require separate consultation with the relevant authorities.</p>
Local Members	<p>Cllr Firmager listed the application on the following grounds:</p> <ul style="list-style-type: none"> <li>Effect on traffic and pollution</li> <li>Effect on infrastructure including drainage</li> </ul> <p><u>Officer comment:</u> Referenced above.</p>
Neighbours and Societies	<p>The application was consulted to neighbours from 8-29 March 2021. Submissions were received from the following:</p> <ol style="list-style-type: none"> <li>Sonning Eye Society</li> <li>South Hill, Sonning Lane, Sonning RG4 6ST</li> </ol> <p>The submissions raised the following issues:</p> <ul style="list-style-type: none"> <li>Increased traffic congestion at the intersection with the A4 and in Sonning Village, particularly for PM pick up</li> <li>Traffic Management Plan requires additional work</li> </ul> <p><u>Officer comment:</u> The information supplied to the Council has been updated and expanded since the initial submission of the application and includes survey data and modelling of movements on surrounding streets.</p> <ul style="list-style-type: none"> <li>Concurrent application for the expansion of the sports pitch is inadequate to alleviate issues</li> </ul> <p><u>Officer comment:</u> The application is supported on the proviso that 210694 for the expansion of the sports club car park is also approved.</p>

## APPLICANTS POINTS

The School anticipates a significant increase in demand for pupil places over the coming years including an increase from September 2021 when the existing limit imposed by Condition 13 will be exceeded. The NPPF sets out in clear terms the Government's

support for the expansion of schools, and this objective is also reflected in local planning policy.

The School has shown a strong commitment to addressing parking and highway issues and has taken a series of steps to mitigate the impact of pupil arrivals and departures on the local highway network. The School is also committed to encouraging pupils and staff to make sustainable travel choices. The TS, which accompanies this planning application and the related concurrent application for the enlargement of the BCSC car park, clearly indicates that the proposed increase in pupil numbers can be accommodated without harm to highway safety.

For these reasons, it is considered that the proposed variation to condition 13 to allow for an increase in the school roll from 825 to 1,100 is fully supportable in planning policy and highway terms, and the school looks forward to the favourable determination of this application.

<b>PLANNING POLICY</b>
------------------------

National Planning Policy Framework 2021	Section 8	Promoting Healthy and Safe Communities
	Section 9	Promoting Sustainable Transport
Core Strategy 2010	CP1	Sustainable Development
	CP2	Inclusive Communities
	CP3	General Principles for Development
	CP6	Managing Travel Demand
	CP9	Scale and Location of Development Proposals
	CP11	Proposals Outside Development Limits
Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC03	Green Infrastructure, Trees and Landscaping
	CC06	Noise
	CC07	Parking
Other	BDG	Borough Design Guide
	SPDS	Sonning Parish Design Statement
	SDA	Sonning Design Appraisal

<b>PLANNING ISSUES</b>
------------------------

### Description of Development

1. As part of the ongoing expansion and redevelopment of the Reading Blue Coat School campus, F/2010/1641, approved 14 October 2010, involved the demolition of three existing classroom buildings and a new two-storey classroom block, two temporary buildings containing four classrooms and an internal access road. It was subject to Condition 13, which stated that *'the total number of pupils enrolled at the school shall not exceed 750 at any time'*.
2. The maximum number of students was subsequently increased to 825 students in variation application 170118, approved 18 April 2017.
3. The subject application involves the further modification of Condition 13 to allow an increase from 825 to 1100 students. The school currently has 785 students in

attendance with plans to increase above 825 students in the September 2021 intake. Staff numbers are not conditioned but would increase from 155 to 217, including 36 additional teaching staff and 26 additional support staff.

4. Concurrently, application 210694 involves the extension of the existing Berkshire County Sports Club car park opposite the school, with coach and minibus parking, markings, signposting, manoeuvring space and floodlighting. The school currently uses the car park for staff and sixth form car parking and coach parking until 4:45pm on school days. Both applications are inter-dependent and 210694 is currently undetermined pending the outcome of this application. The car park extension in 210694 would not be justified without the increased student numbers. It has not been listed for Planning Committee but where relevant, the assessment of that application has been included in this report to aid in an understanding of the two applications.

### **Description of Site**

5. Reading Blue Coat School is part located within the Sonning Conservation Area, on the west side of Sonning Lane. The main school building group comprises an extensive but relatively closely spaced cluster of academic, sporting, administrative and incidental educational facilities in the centre of the site and accessed via a long drive. The oldest building is a large nineteenth century house built in the gothic revival style and known as School House (previously Holme Park), which is listed as a Building of Traditional Local Character. Playing fields and sporting facilities surround the buildings but predominate to the north, east and west. Woodland lines the River Thames to the west.
6. Berkshire County Sports Club lies opposite the school. It comprises an expanse of sporting pitches and tennis courts with club buildings and a part paved/part gravel carpark adjacent to the main entrance.
7. Both sites are within the countryside with surrounding open land and the historic village of Sonning 80m to the north and the residential settlement edge on New Bath Road approximately 400m to the south.
8. The catchment area for the school consists of Wokingham, Windsor and Maidenhead, Reading and Oxfordshire. The core hours of the school are between 8:45am and 4:10pm with additional before and after school activities.

### **Principle of Development**

9. The NPPF has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. Policy CC01 of the MDD Local Plan states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
10. Paragraph 95 of the NPPF states that it is important that a sufficient choice of school places is available to meet the needs of existing and new communities, with a proactive, positive, and collaborative approach to meeting this requirement, and to development that will widen choice in education, including giving great weight to the need to create, expand or alter schools.



11. The only known limitations upon existing student numbers at Reading Blue Coat School is in F/2010/1641, which refers to a maximum of 750 students. This was increased to 825 in 170118. The existing school website refers to 780 students (including 260 in sixth form) and the Planning Statement references 785 students (with 271 in sixth form).
12. The proposed increase from 825 to 1100 students is equivalent to a 33.3% increase in the student population (or 46.67% against the 2010-2017 limit). This is significant but is also indicative of the increased demand for school places. The Planning Statement submitted with the application refers to the incremental increase in student numbers through to 2026, including 35 students in sixth form in the September 2021 intake and overall headroom of 50 students. This is to meet demand in forward planning but also to allow for co-educational status across all year groups (currently only sixth form is co-educational with 80 girls of 260 students). At present, sixth form numbers make up 35% of the total student population and the intent is to even these across all year groups. Further, the school website states that 11+ intake for the 2020/21 cohort, there were 350 applications for 100 places.

Year	Student Roll			
	Current	2021	2022-	Phasing of additional intake
7	99	100	150	2022
8	99	100	150	2023
9	113	114	150	2024
10	104	113	150	2025
11	99	104	150	2026
12	156	163	150	None
13	115	156	150	2021
Total	785	850	1050	

13. The Planning Statement submitted with the application notes that it is anticipated that the increased capacity would be accommodated within existing buildings on the campus. However, the Campus Strategy Plan references the following additional items as part of a consolidated approach to providing better facilities (including welfare and accessibility provisions):
  - a. The provision of the performing arts centre as approved in F/2014/2319.
  - b. The completion of the works to the Coach House under 182281
  - c. The construction of a new modular two floor building in the 'walled garden' for use as a sixth form centre as a replacement for the existing building
  - d. Additional space for sixth form with five science teaching spaces in 2024
  - e. The reuse and reconfiguration of the existing building stock
14. The demand for school places is clear and consistent with paragraph 95 of the NPPF. However, Condition 13 limiting numbers to 825 students was imposed in the interests of highway safety and the principle of the development is subject to a consideration of highway impacts, as outlined below.

## Access and Movement

### Policy

15. Paragraph 104 of the NPPF seeks to minimise the potential impacts of development on transport networks, allow opportunities to promote walking, cycling and public transport use and reduce the environmental impacts of traffic.
16. Policy CP6 of the Core Strategy aims for sustainable forms of transport, mitigation against any adverse effects upon the local and strategic transport network, enhancement of road safety and prevention of highway problems, amongst other objectives.
17. Policy CC07 and Appendix 2 of the MDD Local Plan stipulates minimum off street car and cycle parking standards, including provision for electric vehicle charging facilities.

### Site context

18. The Council installed double yellow lines on Sonning Lane in 2018, which removed a large number of on street parking spaces. As a result, the school now utilises the existing car park at the Berkshire County Sports Club opposite the school. There is a lease agreement with the sports club dated 1 August 2019 for use of the car park until 31 August 2040 between 7:30am and 4:30pm during term time for the parking of 70 cars and 10 coaches. The subject application is submitted concurrently with and is conditional upon the approval of application 210694. That application involves an expansion of the sports club car park, including formalisation of the gravel parking and extension of the car park to increase school parking from 54 to 104 car spaces and 10 to 11 short stay coach spaces.
19. In support of the increase of 275 students and 62 staff, the application included a Transport Statement, Highways Technical Note, Junction Performance Modelling and Surveys for the junction with Sonning Lane and New Bath Road, Car Park Management Plan, and a Travel Plan.
20. Traffic surveys were undertaken on the junction of Bath Road and Sonning Lane on 22 June 2021, a typical weekday outside of the school holidays to ensure normal operation of the junction was captured. Surveys were captured from 7-10am and 3:30-6:30pm to ensure that the peak traffic hour was captured with amendments to account for Covid-19 discrepancies.
21. The Travel Plan is dated October 2017, updated to reflect the last increase in student numbers in application 170118. It details existing pedestrian, cycle, bus, rail, and vehicular access to the school and includes survey data relating to times of arrival and departure, perceptions of safety, issues with drop off on Sonning Lane and catchment analysis. Transport initiatives include encouragement of cycling, walking, public transport, and car sharing and monitoring of these measures. There is also a Travel Plan Co-ordinator and Steering Group.
22. Some of the key findings from the responses include that:
  - a. 46% of pupils arrived at school between 8:15-8:30am whilst 44% arrived before 8:15am

- b. 77% of pupils left school between 4:10-4:30pm whilst 11% left between 5:45-6pm
- c. 45% of pupils travelled to and from school by school bus and 4% travelled by public bus. 3% cycled and 38% travelled by car, including 7% who car shared
- d. 76% of pupils attend either before or after school activities
- e. 29% of pupils live within 5km of the school. Another 39% are more than 10km from the school
- f. 62% of staff arrive at school before 7:45am with 23% leaving after 6pm. 88% attend school on five or more days per week
- g. 80% of staff travel alone by car, 7% of staff cycle and 7% of staff carshare
- h. 50% of staff live within 5km of the school

Travel Mode	Survey	Existing Trips	Additional Trips	Proposed Total Trips
<b>Students</b>				
Car with parent	31%	244	107	351
Car with other	7%	55	19	74
Student driving car	5%	39	15	54
School bus	44%	345	130	475
Public bus	4%	31	16	44
Walk	2%	15	7	22
Cycle	3%	26	6	33
Other	4%	31	15	46
Total pupils	100%	785	315	1100
<b>Staff</b>				
Staff driving	80%	125	50	175
Car with other	7.5%	11	3	14
Car share	1.5%	2	2	4
Cycle	7.5%	11	5	16
Walk	1%	2	2	4
Bus	2.5%	4	1	5
Total staff	100%	155	62	217

Note: Due to minor discrepancies with submitted documentation and rounding of figures, there are is a margin of error of about 1%

### Traffic Impact

- 23. Based on the 2017 school travel mode share survey (as contained in the Travel Plan and summarised above), the increased student numbers would result in an additional 141 pupils and 55 staff arriving by car. This correlates to 196 additional cars in the AM peak with 126 cars of these cars also leaving during the AM peak (ie parents doing drop off and leaving the school). There is slightly less impact across the afternoon peak because of after school activities.
- 24. There is an increase in car traffic of around 40% in the AM peak though this is the worst-case scenario as there has been no assessment of car sharing and the increase is based from the existing numbers (785) rather than the consented numbers (825). Moreover, other site-specific factors influence traffic movements. These include:
  - a. The internal drop off arrangements as approved in F/2014/2319
  - b. The nine commercially operated bus routes (soon to increase to ten), three of which operate an additional later 6pm service
  - c. Favourable public transport (rail and bus) connections

- d. The fact that sixth formers are required to obtain parking permits to drive to school (thus allowing monitoring)
  - e. The allowance for sixth formers to leave at the end of lessons (which is generally earlier in the day)
  - f. Many of the additional staff members will be support staff with before or after school working hours
  - g. The increase is phased through to 2026
25. When added to existing daily traffic movements, there is no more than 7 total vehicle movements per minute (including to and from) in the AM drop off period and no more than 9 vehicle movements per minute in the PM pick up period. Most arrivals are between 8:00-8:30am and most departures are between 4:15-4:30pm.
26. Most staff (61%) arrive from Bath Road in the south and most students (61%) arrive via Sonning Lane in the north. This correlates with the origin of the trip (ie their home).
27. Vehicle movements from the north through the village of Sonning have not been raised as a concern by the Council's Highways Officer as there are no significant junctions and no modelling was requested.
28. The junction modelling, base model, and survey data for the intersection of Sonning Lane and Bath Road to the south of the school has been assessed and is accepted by the Council's Highways Officer. The modelling indicates that there will be additional delays in the northbound approach into Sonning Lane and southbound approach into Bath Road in the 15 minutes period between 4:15-4:30pm. Bath Road is, however, largely unaffected. More broadly, the impact is limited and the wider strategic network is largely unaffected and does not affect the rest of the peak hour. There is sufficient capacity along Sonning Lane to accommodate queues during this period.

### Car Parking

29. In accordance with Appendix 2 of the MDD Local Plan, there is a requirement for one car space for every full-time equivalent staff member and one car space per five Sixth Form students.
30. There are currently 155 staff and 271 sixth formers. This equates to a parking requirement of 209 spaces – 155 staff spaces and 54 pupil spaces. There are currently a grand total of 235-238 parking spaces on the school campus (there is some minor discrepancies in the documentation), with 209 assigned as staff spaces with no sixth form spaces. Of these, there will be a net reduction of 24 spaces (to 185 spaces) which will be lost to the performing arts centre which has been approved but yet to be built. The lease agreement at the Berkshire County Sports Club allows for 54 additional car spaces. This will be a total of 239 staff and student spaces across both sites. There is a departure with the parking standard for sixth formers but compliance with the overall parking standard.
31. The proposed increases to 217 staff and 300 sixth formers would result in a requirement for 277 spaces (217 staff spaces and 60 student spaces) or 62 additional staff spaces and 6 sixth form spaces. The application at Berkshire County Sports Club car park will result in 50 additional spaces. Whilst this does not account

for the increased demand and there is now a departure with the parking standard for staff parking, there still remains compliance with the overall parking standard.

	Persons	Spaces on Campus	Spaces at BCSC	Total Spaces Provided	Policy Spaces Required	Travel Survey Spaces Required	Surplus
<b>Existing (inclusive of net loss of parking at Performing Arts Centre)</b>							
Staff	155	185	0	185	155	136	42 or 61
Sixth Formers	271	0	54	54	54	63	-12 or -21
Total	426	185	54	239	209	199	30 or 40
<b>Proposed</b>							
Staff	217	185	0	185	217	187	-20 or 10
Sixth Formers	300	0	104	104	60	88	32 or 4
Total	426	185	104	289	277	275	12 or 14
<b>Net increases</b>							
Staff	62	0	0	0	62	51	
Sixth Formers	29	0	50	50	6	25	

Note: Due to minor discrepancies with submitted documentation and rounding of figures, there is a margin of error of about 1%

32. However, the 2017 travel survey provides a clearer picture of actual travel modes and parking demand. Of the existing 155 staff, 80% drove to the school. This presently results in 83% of the staff spaces being used. 39 students drive and park at the school though this usually increases to 63 pupils by the summer term as more pupils reach driving age. There are only 54 spaces at the Berkshire County Sports Club car park.
33. Based on the travel survey, 51 additional staff and 25 students are likely to drive – equating to a total of 76 spaces. With the proposed increase of 50 additional car spaces at the Berkshire County Sports Club car park and when accounting for the existing staff capacity within the school campus car parks (30 spaces), there remains sufficient on-site car parking for staff and students.
34. Other supplementary parking arrangements are in operation on the school campus. These include:
  - a) An increase of one coach space at Berkshire County Sports Club car park to 11 spaces. This will be able to accommodate the additional 130 students or total of 484 students arriving by private bus. Not including minibuses, that is 44 students per bus
  - b) An additional 10 cycle spaces on the school campus, for a total of 48 spaces. This is not policy compliant (see below) but still accommodates the number of daily staff and student bike riders
  - c) 10 drop off and pick up bays, which is unchanged. This is acceptable for the anticipated increase of 126 students being picked up and dropped off during the morning and afternoon peaks, noting that there is generally not more than three drop offs or four pick ups in any minute across the peaks
  - d) Seven motorcycle spaces, which is unchanged. Whilst the policy requires one additional space or 10 spaces in total, the travel survey does not indicate demand for additional motorcycle demand but there remains the opportunity to address this need in the future.
  - e) 3 disabled bays, with a further five spaces provided at the Berkshire County Sports Club. This is 13 spaces. Whilst not policy compliant overall, it is acceptable based on the specific demands of the school and because it is

subject to review as part of the Travel Plan. Like above, there remains the opportunity to address this need in the future.

- f) 16 visitor spaces, which is unchanged. This remains appropriate for the expected demand from 1100 students, particularly when the drop off and pick up bays (10 spaces) can also be used
- g) Overflow parking of more than 600 spaces when required and by arrangement. This is acceptable in instances where events are being undertaken
- h) There are five electric vehicle charging spaces as part of the additional parking at Berkshire County Sports Club. This is supportive of the Council's policies which are still in draft form. Appropriate details will be required as part of the pre commencement conditions of 210694.

35. Overall, there is sufficient capacity for the increase in parking numbers. An amended Parking Management Plan has been submitted but final updates based on the above is required by Condition 15.

### Cycle Parking

36. One cycle space is required per three students and per five staff, equating to an additional 105 pupil spaces and 12 staff spaces under the subject application. There are currently 48 cycle spaces within the campus, increasing to 58 spaces under the proposed scheme. There are also 10 spaces at the Berkshire County Sports Club.

	Persons	Spaces on Campus	Spaces at BCSC	Total Spaces Provided	Policy Spaces Required	Travel Survey Spaces Required	Surplus
<b>Existing (inclusive of net loss of parking at Performing Arts Centre)</b>							
Staff	155	48	10	58	31	11	-245 or +13
Pupils	785				262	24	
Total	940				293	35	
<b>Proposed</b>							
Staff	217	58	10	68	43	16	-367 or +9
Pupils	1100				367	33	
Total	1317				410	49	
<b>Net increases</b>							
Staff	62	10	0	10	12	5	
Students	315				105	9	

37. There is a significant departure with the required standards even when accounting only for the increases in this application. However, the most recent Travel Plan notes that there are 24 current student cyclists and 11 staff cyclists, therefore 13 spare spaces. Based on the existing rate of cycle use, there would be increased demand for 9 pupil spaces and 5 staff spaces, or a total of 14 spaces. An additional space would be required whereas ten are proposed.

38. P2 and P3 of the Borough Design Guide SPD also aims to ensure that cycle parking is conveniently located, secure and undercover and provided where it is compatible in the streetscene. In the absence of any details, Condition 17 requires the provision of cycle storage details prior to the increased intake of students. Condition 8 also requires an update to the Travel Plan to include continuous monitoring of cycle uptake and provision of more cycle spaces if demand warrants it.

### Access

39. Pedestrian access is unchanged. It comprises footpath access via the western side of Sonning Land, a signalised pedestrian crossing near the entrance and a separated pedestrian entrance at the main school entrance. Internal school access is segregated and lit. Four car parking and pedestrian marshals are on duty during drop off and pick up time. This existing arrangement is sufficient to cater for an increased student population.
40. Pedestrian access within the Berkshire Country Sports Club car park will be via a gravel path along the western side of the car park leading to the signalised pedestrian crossing. Walking distances are less than 200m from the car park to the main school buildings. This is a satisfactory arrangement. The internal swept path for the coaches and minibuses in the car park has been shown and is satisfactory. Existing turning to and from Sonning Lane has already been approved and is not changing such that no objection is raised.

### Conclusion

41. The Council's Highways Officer has reviewed this information and has concluded that there is no objection to the proposed increase in student numbers, subject to an updated Parking Management Plan (Condition 15). An updated Travel Plan is also required in Condition 8 to reflect the updated student numbers and because nearly four years has passed since the last edition.

### **Neighbour Amenity**

42. Policy CP3 of the Core Strategy aims to protect neighbouring amenity and Policy CC06 and Appendix 1 of the MDD Local Plan requires that development protect noise sensitive receptors from noise impact.
43. The campus is expansive (approximately 18 hectares) and is relatively well removed from the settlement limits of Sonning (80m to the north and generally 400m to the south), with only sporadic residential development in the immediate surrounding areas. The school has operated at the current campus since 1947 without any harm to the surrounding area and the intensified use of the facilities, including the playing fields, is acceptable in the context of the existing operations and the expanse of the campus grounds.
44. The additional traffic movements from staff, students and coaches will result in additional noise and pollution but it will be limited largely to the existing road network with most, if not all, of the additional parking occurring at the Berkshire County Sports Club where it is well removed from residential properties.
45. There is therefore unlikely to be any ramifications for neighbour amenity as a result of the additional student numbers.
46. Floodlights form part of the proposal for the enlarged carpark in application 210694. These are suitably placed and sufficiently removed from residential properties. When considered in conjunction with the other floodlights on the site that are operated for sporting use, there is no objection.

## **Character of the Area**

47. Policy CP3 of the Core Strategy states that development must be appropriate in terms of its scale, mass, layout, built form, height and character of the area and must be of high-quality design. NR1 of the Borough Design Guide states development should respond to key characteristics and features of the site.
48. There are no physical building works associated with this application and as such, there are also no adverse implications for the character of the area, including the Sonning Conservation Area or the local character status of the main school building, which is listed as a Buildings of Traditional Local Character.
49. The coach and minibus parking associated with planning application 210694 does not pose any significant character issues because it does not involve any unreasonable encroachment and is partly screened from the road. The signage and line marking are also reasonable in the context of the existing carpark. The proposed floodlighting has a more visible impact upon the countryside setting but is appropriate in the context of other light poles for the existing sports pitches and tennis courts.

## **Accessibility (The Public Sector Equality Duty (Equality Act 2010))**

50. In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion, or belief.
51. The application relates to a school and therefore involves children but aside from this, there is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues, and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development. This applies to the school campus and to the adjacent car park at Berkshire County Sports Club. Disabled parking will not meet the policy requirements but will be considered as part of the school's needs, as identified in the Travel Plan.

## **Waste Storage**

52. Policy CC04 of the MDD Local Plan requires adequate internal and external storage for the segregation of waste and recycling.
53. With increased student numbers, there are implications for waste storage and collection. Details of existing waste storage and collection arrangements (and any necessary increases) were requested but have not been provided. Whilst it is feasible that any future arrangements could be accommodated satisfactory and without impediment to the environment or the local highway network (collection would be outside of the peak school times), such details are still required by Condition 16 to ensure that capacity and vehicle movements are satisfactory.



## **Flooding and Drainage**

54. Policy CC09 of the MDD Local Plan requires consideration of flood risk from historic flooding. The site and access thereto are located within Flood Zone 1 and the proposal represents no additional flood risk or vulnerability. With no additional hard surfacing, there are also no additional drainage implications.
55. The extension of the car park at Berkshire County Sports Club does not present an adverse drainage outcome for the area and is also supported.

## **Contamination**

56. The site is listed as potentially contaminated on the Council's mapping system but given the extent of what is proposed, no issue is raised.

<b>CONCLUSION</b>
-------------------

57. The proposed increase in the school capacity to 1100 students represents a 33.3% increase on existing numbers and is required to meet the projected demand for school places from population growth in the surrounding areas. The principle of the additional school places is acceptable and it is undertaken without an unacceptably adverse impact upon existing traffic movements on Sonning Lane and surrounding roads.
58. Approval is recommended but it is subject to the concurrent approval, completion of these works and continued operation of application 210694 for the expansion of the existing car park at Berkshire County Sports Club, which the school currently uses under a lease agreement. The subject application is also subject to an updated Travel Plan (Condition 8), additional parking management details (Condition 15) and waste details (Condition 16) as well as Condition 18 which ties the two applications,

This page is intentionally left blank

NOTE  
Do not scale from these drawings. Measure all critical dimensions on site.



**t a p p**  
associates  
chartered architects

Office 4, Unit 1,  
Henley Enterprise Park, Greys Road,  
Henley-on-Thames  
Oxon, RG9 1UF  
  
Telephone 07970 073460  
Email [chris@tappassociates.com](mailto:chris@tappassociates.com)

job Holme Park, Sonning Reading Blue Coat School		drawing Site Location Plan	
date December 2020	drawn by CT	scale 1:2500 @ A3	drawing no. <b>1122.PL.007c</b>

This page is intentionally left blank

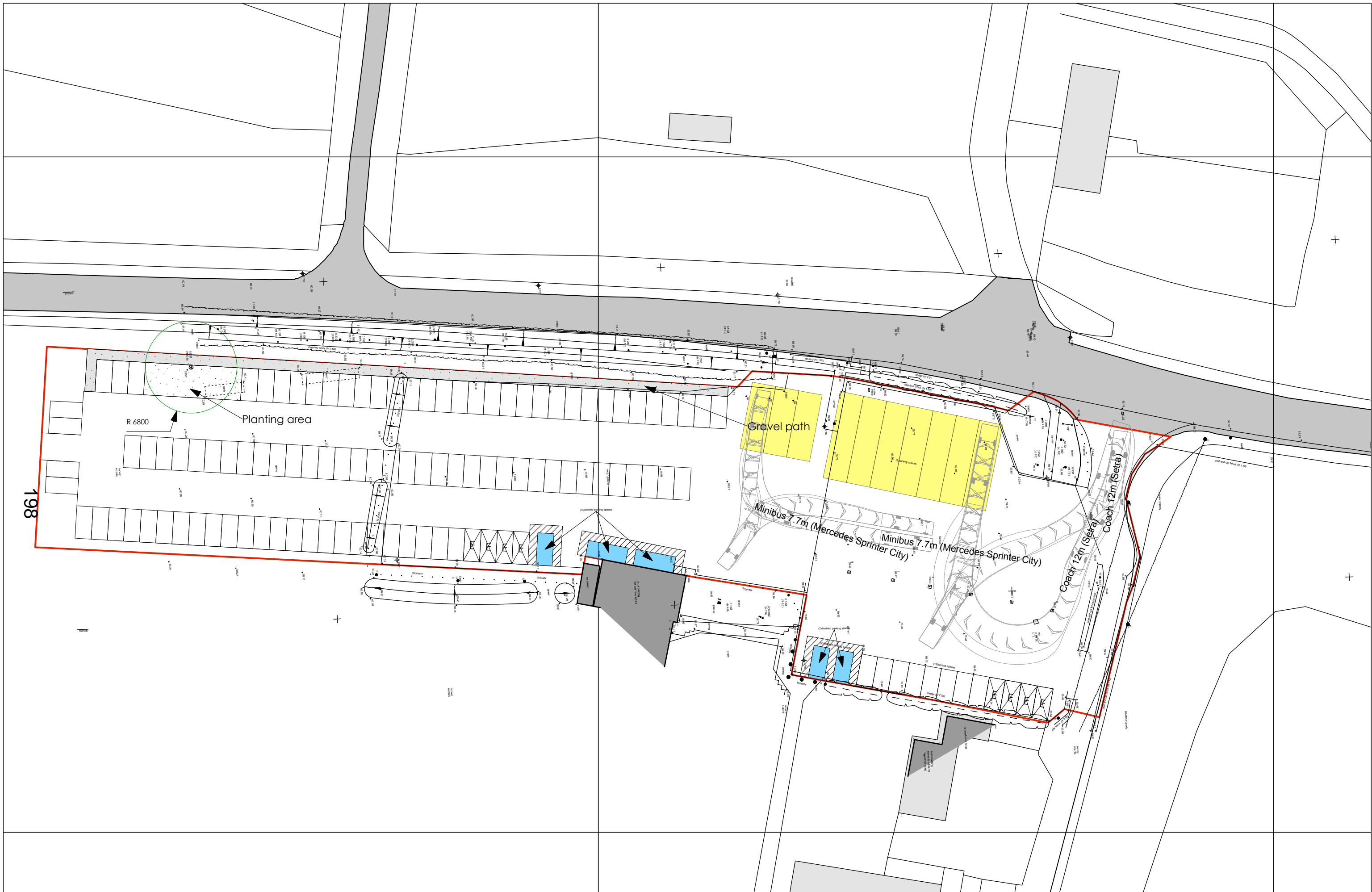
NOTE  
Do not scale from these drawings. Measure all critical dimensions on site.



**t a p p**  
associates  
chartered architects

Office 4, Unit 1,  
Henley Enterprise Park, Greys Road,  
Henley-on-Thames  
Oxon, RG9 1UF  
  
Telephone 07970 073460  
Email [chris@tappassociates.com](mailto:chris@tappassociates.com)

job Holme Park, Sonning Reading Blue Coat School		drawing no. <b>1122.PL.007e</b>	
date December 2020	drawn by CT	scale 1:2500 @ A3	



PLANNING REF : 210693  
PROPERTY ADDRESS : Council Office  
: Pearson Road, Sonning, Reading  
: RG4 6UL  
SUBMITTED BY : Sonning Parish Council  
DATE SUBMITTED : 01/04/2021

COMMENTS:

Sonning Parish Council has carefully considered this application and has the following comments.

There have been numerous applications on this site and the ambitious plan to extend the school and its facilities has led to the number of pupils increasing.

Approval F20101641 limited the numbers of pupils to 750 for highway reasons. In 4.3 of the introduction, in the Planning Statement supporting that application, the applicant categorically stated that the proposal will not result in any increase in the number of pupils attending the school. The officer confirmed that There is no intention of increasing pupil capacity or staff numbers as a result of the proposed replacement classrooms. However, the proposed planning condition limiting pupil numbers to 750 provides an important allowance for a small degree of natural fluctuation.

Condition 13 of that approval states, The total number of pupils enrolled shall not exceed 750 at any time and the reason for the condition is given as In the interests of highway safety.

In 2017, under

application 170118, permission was granted to increase the number of pupils enrolled at the school to 825.

Application 210693 seeks to increase the number of pupils from 825 to 1100.

This is an

extraordinary increase and indicates a lack of consideration as to the existing and potential effect the school has on the local community. 40% increase in pupil numbers equals a 40% increase in cars disruption in the Sonning Conservation Area.

The fact is that there has been no consultation with interested parties within the parish such as Sonning Parish Council, and the Sonning and Sonning Eye Society. This despite working closely together over the improved highways works in Sonning Lane and the fact that Sonning Parish Council is an adjoining landowner, makes this most surprising.

The fundamental flaw that the applicant fails to address is that access to the school is along the narrow roads in Sonning, which are further restricted by on street parking, effectively creating a one way route to the school. The school also fails to recognise the effect that a potential 100 additional cars will have on Sonning village and as many pupils are transported from outside the Wokingham area parents and older pupils will choose to drive.

The applicants congratulate

themselves on the well managed system at opening and closing times but an onsite visit between 4.00 pm and 4.30 pm shows that it is managed chaos. Vehicles queue to exit the school premises onto Sonning Lane, at the same time vehicles (cars and busses) queue to exit the lane opposite the school from the Berkshire car park. In addition, pupils and other pedestrians, queue to cross the road to access the vehicles in Berkshire Sports Club. Cars are also queuing from the right to enter the school premises and impatient drivers on their way to the A4 undertake them by driving on the verge. This is a no go area during these hectic times and is a hazard for regular traffic. The exit from Sonning Lane is equally hazardous with long queues including numerous cars and coaches from the school. Typically, it can take ½ hour to drive from the school either to the A4 or to cross Sonning Bridge. This has to be seen to be believed.

The proposed increase in pupil numbers (plus staff) will increase traffic in Sonning Village. With the best car parking arrangements in place those accessing and leaving the school have to drive through the village itself along Pearson Road, Sonning Lane, the High Street and Thames Street Grid lock ensues at the junction of Pearson Road and the High Street, further hindering progress.

Despite the best travel plans parents still insist on delivering and collecting their children and are invariably parked with their engines running, for heating in winter and air conditioning in the summer. This is adding to the pollution in the area, which Sonning Parish Council are working to reduce in line with Wokingham Borough Councils Climate Emergency Plan.

All this in the heart of the Sonning Conservation Area.

The applicant also has not taken into consideration the extra demand the everincreasing

development of the School and subsequent increase in pupil and staff numbers, has on the infrastructure.

In particular, the increase in sewage into the very poor, substandard drainage in Sonning Lane and throughout Sonning. It has been noted that the school drains already block on a regular basis.

Increased wear and tear on Sonning roads.

Pollution and deterioration of Sonnings historic buildings

The demand on the electricity supply has resulted in the installation of an onsite electricity substation.

Sonning is a

beautiful village, much of which has been, quite rightly, classed as a Conservation Area. The definition of a Conservation Area is:

Conservation areas exist to manage and protect the special architectural and historic interest of a place in other words, the features that make it unique.

If Sonning is to retain its special architectural and historic features that make it unique then it has to be protected from the potential pollution and destructive effect that the everincreasing volumes of traffic are creating. This proposal will only add to the problem that is spoiling Sonning.

L A Bates (Clerk to the Council)



# Agenda Item 30.

Application Number	Expiry Date	Parish	Ward
211754	18/08/2021	Wokingham	Emmbrook;

<b>Applicant</b>	Dr Robert Koefman
<b>Site Address</b>	25 Camellia Way, Wokingham, RG41 3NB
<b>Proposal</b>	Full application for the proposed change of use of the site from residential (Use Class C3) to a mixed use of residential and a beauty salon (Use Class Sui Generis) (Retrospective)
<b>Type</b>	Full
<b>Officer</b>	Senjuti Manna
<b>Reason for determination by committee</b>	Listed by Councillor Rachel Bishop-Firth

<b>FOR CONSIDERATION BY</b>	Planning Committee on Wednesday, 11 August 2021
<b>REPORT PREPARED BY</b>	Assistant Director – Place

<b>SUMMARY</b>
<p>The application site is a modest sized detached property with a detached outbuilding in the rear garden located within a residential neighbourhood. The application seeks retrospective permission for the use of the residential outbuilding as a beauty salon which is operated by a relative of the applicant. The proposal does not involve any additional building works.</p> <p>It has been clarified in the supporting documents that the business use is of small scale, and it is operated for limited time. Consequently, the proposal does not have significant impact on the residential character of the host dwelling or surrounding area. It is considered that subject to a condition (no. 3) securing hours of operation, there is no objection to the proposal on character of the area grounds.</p> <p>Provision of on-site parking is one of the concerns relating to the proposal. The dwelling itself requires 3 parking spaces for its occupants. One additional parking space is required for the business operator who does not use the host residential dwelling as the primary accommodation. Additional spaces are required for customers of the beauty salon and the number will depend on the type of operation. The applicant has provided information demonstrating the dwelling benefits from a large front parking area which can accommodate 5 parking spaces. This is acceptable provided there is no more than 1 customer at any point of time. Condition 4 is included to restrict the number of clients and condition 5 secures parking provision. The proposal is considered acceptable on highway safety grounds subject to these conditions.</p> <p>Objections have been received from a neighbour on loss of privacy from the proposed use grounds. Whilst it is acknowledged that a limited degree of disturbance is caused by the arrival and departure of customers, since the business use is of small scale and since the front window of no. 23 is already in public view, it is considered the business use does not have detrimental impact on neighbour's amenity warranting a refusal. Moreover, there is acceptable separation between the business access gate and neighbour's window. Notwithstanding, it is considered that any further intensification of the business use including employing additional people would have a detrimental impact on highway safety due to lack of parking as well as on residential amenity of neighbouring property.</p>

Consequently, condition 2 is included in the permission which also states that the permission is of personal nature only due to the special circumstances of the case.

There is no other objection to the proposal on Trees and Landscape, Drainage, Ecology and Private Amenity grounds. The application is accordingly recommended for approval subject to conditions for the reasons set out in this report.

#### **PLANNING STATUS**

- Major Development Location of Wokingham
- Surface Water Nitrate Vulnerable Zone
- Bat Roost Habitat Suitability Zone
- SSSI Impact Risk Zone
- Thames Basin Heath SPA – 7km Zone
- Heathrow Aerodrome Wind Turbine Safeguarding Zone

#### **RECOMMENDATION**

**That the committee authorise the GRANT OF PLANNING PERMISSION subject to the following:**

**A. Conditions and informatives:**

**Conditions:**

1. Approved Details

This permission is in respect of the submitted application plans and drawings named 'Location Plan showing Parking Spaces' and 'Block Plan Rev. B' received by the local planning authority on 27 July 2021. The development shall be maintained in accordance with the approved details unless other minor variations are agreed in writing by the Local Planning Authority.

*Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.*

2. Personal Consent

The use hereby permitted shall be carried out only by Mrs Siobhan Bower, Dr Keofman and Mrs Koefman and no other person shall be operating the business. There shall not be any other employee working in the business other than the three named in the permission.

*Reason: In granting this permission the local planning authority has had regard to the special circumstances of the case being the business operator is a relative of the landowner; in the interest of the amenity of the area; and in the interest of highway safety. Relevant policy: Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.*

3. Hours of Operation

The use hereby permitted shall not operate other than between the hours of 09:00 and 17:00 Mondays to Fridays; 10:00 to 16:00 on Saturdays and shall not operate at all on Sundays and Bank or National Holidays.

*Reason: To safeguard residential amenities. Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.*

4. Number of Clients

There shall not be more than 1 client in the business at any one point of time and there shall be a gap of a minimum of 30 minutes between the finishing time of one appointment and starting time of the next.

*Reason: To ensure adequate on-site parking provision in the interests of highway safety, convenience, and amenity. Relevant policy: Core Strategy policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.*

5. Parking to be Retained

The vehicle parking spaces shall be retained and maintained in accordance with the approved details. The parking spaces shall remain available for the parking of vehicles at all times and shall not be used for any other purpose other than vehicle parking.

*Reason: To ensure adequate on-site parking provision in the interests of highway safety, convenience and amenity. Relevant policy: Core Strategy policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.*

**Informatives:**

1. This permission does not convey or imply any approval or consent that may be required for the display of advertisements on the site for which a separate Advertisement Consent application may be required. You should be aware that the display of advertisements without the necessary consent is a criminal offence liable to criminal prosecution proceedings through the courts.
2. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF.

<b>PLANNING HISTORY</b>		
<b>Application Number</b>	<b>Proposal</b>	<b>Decision &amp; Date</b>
09138	Detached house and garage	Approved 16/10/1978
F/1997/66375	Proposed conversion of Part of garage to playroom	Approved 17/10/1997

F/2010/0110	Proposed erection of single storey rear/side extension to form new garage, utility and sunroom, plus variation of condition 3 of planning consent 09138 to allow conversion of existing garage to additional habitable accommodation.	Approved 07/04/2010
-------------	---	---------------------

<b>SUMMARY INFORMATION</b>	
<b>For Commercial</b>	
Site Area	510 sq.m
Previous land use(s) and floorspace(s)	Residential outbuilding 12.75 sq.m
Proposed floorspace of each use	Business (beauty salon) 12.75 sq.m
Change in floorspace (+/-)	None
Number of jobs created/lost	1
Existing parking spaces	5
Proposed parking spaces	5

<b>CONSULTATION RESPONSES</b>	
WBC Drainage	No objections
WBC Environmental Health	No objections
WBC Highways	No objections subject to condition

## **REPRESENTATIONS**

**Town/Parish Council:** No comments received

**Local Members:** Committee listing request received from Cllr Bishop-Firth on the following grounds:

- The business use is causing loss of privacy and noise disturbance to no. 23.

(Officer's note: The business use is small scale and condition 4 restricts number of clients to be 1 at any point of time. Additionally, condition 3 limits the hours of operation. There is an existing fencing between properties 23 & 25 Camellia Way and living room window of no. 23 faces the access drive which is in public view. For these reasons, the proposal is not considered to have a detrimental impact on the neighbour's residential amenity).

- Number of customers will be more than what is suggested in the Planning Statement.

(Officer's note: Number of customers and hours of operation are controlled by conditions 3 & 4).

- Car parked by clients waiting for the finishing of previous appointment is causing traffic congestion in the area.

(Officer's note: Condition 4 requires a minimum of 30 minutes gap between the finishing of an appointment and starting of the next to avoid traffic congestion).

- There is inadequate parking space within the application red line. Part of the applicant's driveway is shared by properties 23 & 25 and this cannot be used for parking.

(Officer's note: The applicant has demonstrated 5 parking spaces available within the red line area. This complies with WBC parking requirements provided there is no other employee working in the business and there is only 1 client at any point of time. These are secured by conditions 2 & 4. Condition 5 secures availability of parking at all times. Previous approval F/2010/0110 includes a parking plan showing adequate parking in front of no. 25, see figure 1 below).

- The business owner does not live in the host dwelling. If permission is granted, any individual such as an employee of the business could start working here.

(Officer's note: Condition 2 states that the permission is of personal nature and the approved use can be carried out only by the persons named in the permission).

- Loss of privacy for no. 23 will result in loss of property value.

(Officer's note: Property value is not a material consideration in planning).

**Neighbours:** 15 representations have been received from local residents of which 13 supported the proposal; 1 objected to the scheme and 1 letter of rebuttal was submitted by the business owner.

**Support:** Occupants of following properties supported the proposal – no. 11, 14, 18, 19, 20, 21, 22, 26, 27 & 29 Camellia Way. Reasons for the support being:

- The business has not caused any disturbance to any neighbour.
- Small-scale family run businesses need more support in post-pandemic situation.
- The beauty salon provides a community service.
- The host dwelling has adequate parking spaces available for the occupants and the business.

**Objection:** Occupants of neighbouring property no. 23 Camellia Way objected to the proposal on following grounds.

- No. 25 shares its driveway and front parking court with no. 23. Clients access the business via a side gate which is within 3m of no. 23's living room. Clients walking past the living room window cause loss of privacy.
- The owner of the business does not live in the host dwelling and as such, the business use is not ancillary to the residential use.
- The business operator and clients park their vehicles in front of no. 23's driveway causing traffic congestion, inconvenience, noise disturbance and loss of privacy.

(Officer's note: These objections have already been addressed under 'Local Members' section above).

- The business has increased risk of COVID in the neighbourhood.

(Officer's note: This claim has not been supported with any evidence. Notwithstanding, it is for the business owner to ensure appropriate COVID protocol is followed).

- Wokingham Development Plan policies require employment growth to occur in core employment areas. The site is within a residential neighbourhood which is not a core employment area.
- There is a possibility that the business may expand in future and can be sold off to a different operator detrimentally impacting the residential character of the area.

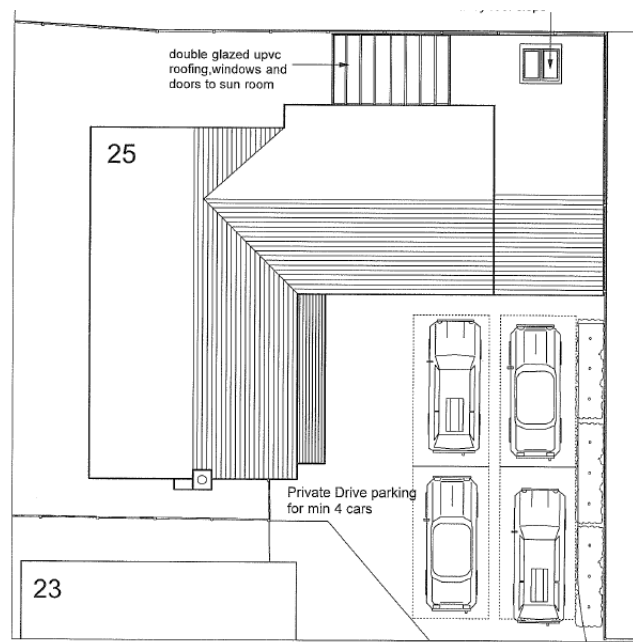
(Officer's note: The business is small scale in nature which is acceptable in residential areas. Conditions 2 and 4 are recommended to restrict number of clients and employees to safeguard residential amenity of the area).

- Hours of operation noted in the application form contradict those mentioned in the Planning Statement. Late evening appointments have had loss of privacy impacts on neighbours.

(Officer's note: Hours of operation is restricted by condition 3).

- The parking plan submitted with the application is incorrect. The host dwelling currently has only 3 parking spaces available. The remaining spaces will be on the shared driveway which is not owned by the applicant. There is no on-road parking available within the neighbourhood. The proposal has already caused highway safety concerns.

(Officer's note: The WBC Highways Officer has reviewed the proposal including on-site assessment and has recommended approval subject to conditions 2, 4 and 5. Parking plan approved by permission F/2010/0110 shows availability of 4 spaces in front of no. 25 with provision for 1 extra space, see figure 1 below).



**Figure 1:** Plan approved by permission F/2010/0110

- The business use is having a negative impact on property values of neighbouring dwellings.

(Officer's note: Impact on property value if not a material consideration in planning. All other objections have been given due consideration and addressed in the appraisal section below).

<b>APPLICANTS POINTS</b>	
<ul style="list-style-type: none"> <li>• The business use is small scale, and it only requires permission since the business owner/ operator does not use the host dwelling as their primary residence.</li> <li>• Whilst the proposal does constitute an employment-generating use, it is restricted to one member of staff operating an independent business. Therefore, whilst the site is not located in a core employment area, the particulars and intensity of the proposal support this location for the business operation.</li> <li>• The proposal is ancillary in nature that does not impact the ability of the existing property to function as a residential dwelling.</li> <li>• The proposal is located within settlement limits and provides economic as well as social benefits in line with the intents of the NPPF.</li> <li>• A valid fall-back position exists where a similar business can be operated without needing planning permission by a primary resident of the host dwelling.</li> <li>• The business operates on an appointment-only basis with only one customer attending at any one time. The nature of this business means there will not be a build-up of customers as a slot booking system is in place, thus mitigating congestion and maintaining the peaceful nature of the area.</li> <li>• The proposal does not require any external or internal changes to the buildings and consequently, does not impact the street scene. The low intensity of the business operation does not detract from the predominately residential character of the area.</li> <li>• No external signage is or will be placed in connection with the business.</li> <li>• The existing property benefits from 5 parking spaces that exceeds the Council's minimum standards for a dwelling of this size, enabling provision for the parking of both the operator of the business and for a customer.</li> <li>• The business and its access arrangements are accessible for individuals of limited mobility.</li> </ul>	

<b>PLANNING POLICY</b>		
National Policy	<b>NPPF</b>	National Planning Policy Framework
Adopted Core Strategy DPD 2010	<b>CP1</b>	Sustainable Development
	<b>CP3</b>	General Principles for Development
	<b>CP6</b>	Managing Travel Demand
	<b>CP9</b>	Scale and Location of Development Proposals
	<b>CP15</b>	Employment Development
Adopted Managing Development Delivery Local Plan 2014	<b>CC01</b>	Presumption in Favour of Sustainable Development
	<b>CC02</b>	Development Limits
	<b>CC03</b>	Green Infrastructure, Trees and Landscaping
	<b>CC06</b>	Noise
	<b>CC07</b>	Parking
	<b>CC09</b>	Development and Flood Risk (from all sources)
	<b>CC10</b>	Sustainable Drainage

	<b>TB06</b>	Development of private residential gardens
	<b>TB21</b>	Landscape Character
Supplementary Planning Documents (SPD)	<b>BDG</b>	Borough Design Guide – Section 4

<b>PLANNING ISSUES</b>
------------------------

**Description of Development:**

1. The proposal seeks retrospective permission for the change of use of an existing residential outbuilding to a beauty salon business. The salon is approximately 12.75 sq.m in area, is located at the bottom of the rear garden of the host dwelling and is accessed by a side gate. The scheme does not involve any change in the existing physical quantum of development within the site. The salon is operated by a relative of the applicant who does not use the dwelling as primary accommodation.
2. The business has been operating from the outbuilding since 2020 but was run intermittently during lockdown. It is being operated more regularly since April 2021 with 2-3 clients per day.

**Principle of Development:**

3. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan (MDD) Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
4. Policy CC02 of the MDD sets out the development limits for each settlement as defined on the policies map and therefore replaces the proposals map adopted through the Core Strategy, as per the requirement of policy CP9. Policy CP9 sets out that development proposals located within development limits will be acceptable in principle, having regard to the service provisions associated with the major, modest and limited categories. As the site is within a major development location, the proposal is acceptable in principle.
5. Policy CP15 states that development for business will be permitted within Core Employment Areas identified in the development plan. Elsewhere within development limits the redevelopment, refurbishment, or minor extension of buildings in employment use will be acceptable in principle. Whilst the proposal is not located within a core employment area, in this instance it is considered acceptable since the business operation is of small scale which is run by one individual from a relative's property.

**Character of the Area:**

6. The proposal site is located within a cul-de-sac off Simon's Lane in an established residential area of Wokingham. The area comprises predominantly of large, detached 2 storey houses with attached garages. The site itself is located at the end of the cul-de-sac and shares its access driveway with neighbouring properties no. 23 and 27. An existing side gate from the front drive provides access to the rear outbuilding.



7. The proposal does not include additional physical built development and as such, does not alter the visual character of the area. The business use is of small scale with only one operator and one client at any point of time. Due to the low intensity nature of the use, the business does not have any significant impact on the main residential character of the host dwelling as well as the neighbouring area. Only two additional cars are parked at any point of time as a result of the business use, and this does not detract from the area's residential character.
8. Objections have been raised from neighbour at no. 23 on the basis of the proposal not being ancillary to the main residential use since the business operator does not live in the host dwelling. It is also stated that any future expansion of the business will have detrimental impact on the residential character. Whilst the business operator is not a primary resident of no. 25 Camellia Way, they are related to the applicant and utilise the dwelling to avail childcare. As noted by the applicant, there is a valid fall-back position where a similar business can be operated without needing planning permission by a primary resident of the host dwelling where it is low-key in nature. It is considered that the non-resident status of the business operator has resulted in one additional parked car that does not significantly alter the residential nature of the host dwelling and no objection is raised in this regard. Notwithstanding, condition 2 is included to make the permission personal to the applicants and the current business operator only in order to safeguard the general residential character of the area. The condition also states that the business shall not employ any other person, thus limiting the intensity of the use in future. Subject to these conditions, there is no objection to the business use on character of the area grounds.

#### **Residential Amenities:**

9. Loss of privacy: The business operates from a single storey residential outbuilding located at the bottom of the rear garden. Due to the scale and location of the building, it's use does not have any direct overlooking into neighbouring properties.
10. Objections were raised from neighbouring property no. 23 for loss of privacy arising from clients to the business utilising the access gate located adjacent to the neighbour's living room. The living room window is in public realm with outlook over the front driveway. The window is separated from the business access gate by more than 3m which is an acceptable separation distance for front habitable windows. Consequently, clients to the business walking past the window is not considered to have a detrimental impact on loss of privacy warranting a refusal. Moreover, the business runs on appointment-only basis and there is only one client at any one time. There is an existing fence between the rear gardens of no. 23 and 25 and clients accessing the business are screened by the fence. There is no habitable window at no. 23 facing the application site. As such, it is considered that the proposal has an acceptable impact on the neighbour's residential amenity. Notwithstanding, condition 3 is included to restrict the hours of operation to minimise any noise and other disturbances to neighbouring properties.
11. Overbearing and Overshadowing: The business runs from a single storey outbuilding that, due to its limited scale and location, does not have any overbearing and overshadowing impacts on any of the neighbouring residential properties.

## **Access and Movement:**

### Highway Safety:

12. The proposal does not require high intensity traffic movements and there is no concern relating to highway safety.

### Parking:

13. The applicant has submitted a parking plan that shows the host dwelling benefit from 5 existing parking spaces. The WBC parking standards require 3 spaces for a dwelling of this size. Of the two additional spaces available, one is utilised by the business operator who does not live in the house. This leaves 1 space for clients for the business. Since the business operates on appointment-only basis and there is only 1 client at any point of time, 1 space for client parking is considered acceptable. However, parking will be a problem if the business expands in future or employs another person. Conditions 2 and 4 are therefore recommended to restrict the number of operators and clients in the business. Additionally, condition 4 states that a minimum of 30 minutes gap shall be maintained between the end of one appointment and the start of the next in order to avoid any queueing cars.
14. Objections have been received from no. 23 on ownership of the front drive grounds. Landownership, boundary, and party walls are not material consideration in planning. Notwithstanding, historic permission F/2010/0110 includes a parking plan showing no. 25 has a minimum 4 spaces in the front drive with provision for 1 additional car. This is consistent with the parking plan submitted with current application. Condition 5 is included to ensure that all 5 parking spaces will be available all times to serve the dwelling and the business. It is considered that subject to conditions 2, 4 and 5 there is no objection to the proposal on parking grounds. WBC Highways Officers have reviewed the application and recommended conditional approval to the scheme.

## **Flooding and Drainage:**

15. The proposal has not resulted in any additional built development and there is no flooding and drainage concerns relating to the scheme.

## **Infrastructure:**

### Community Infrastructure Levy:

16. The proposal is not CIL liable.

## **Other:**

17. There is no objection to the scheme on Residential Rear Amenity, Trees and Landscape, Environmental Health and Ecology grounds.

## **CONCLUSION**

18. The proposal is for a retrospective change of use of an existing residential outbuilding to a beauty salon business which is operated by a relative of the applicant. The site is located within settlement limits in a major development location and the proposal is

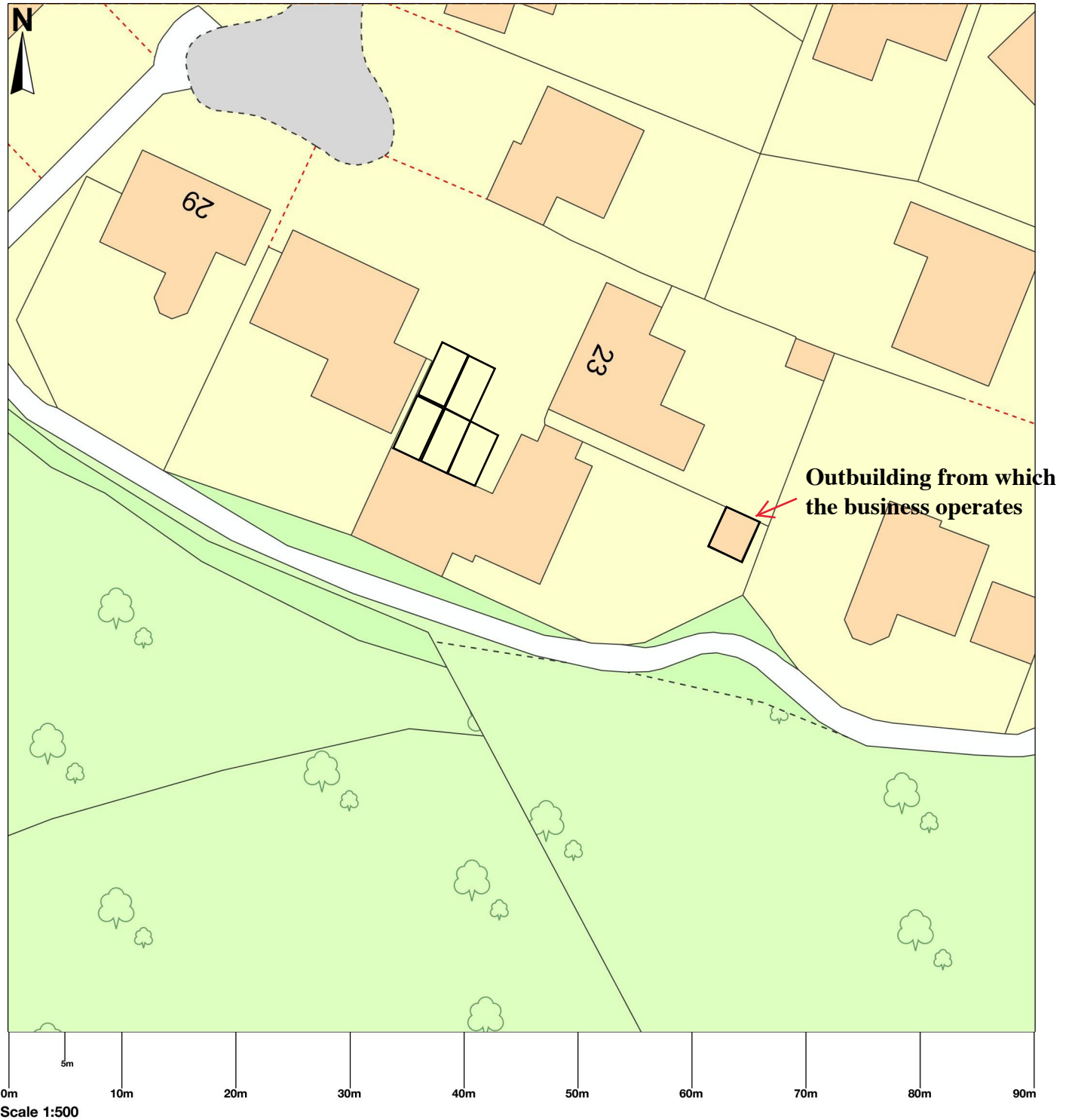
acceptable in principle. Due to the low intensity of the use, the business does not have any negative impact on the residential character of the area. Potential loss of privacy impact on neighbouring property can be mitigated by conditions. The existing level of parking is acceptable for the current level of use and conditions are recommended to restrict intensification of the business use. The proposal does not have any unreasonable landscape, ecological or environmental health impacts. The application is therefore recommended for an approval subject to conditions.

**The Public Sector Equality Duty (Equality Act 2010)**

In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

This page is intentionally left blank

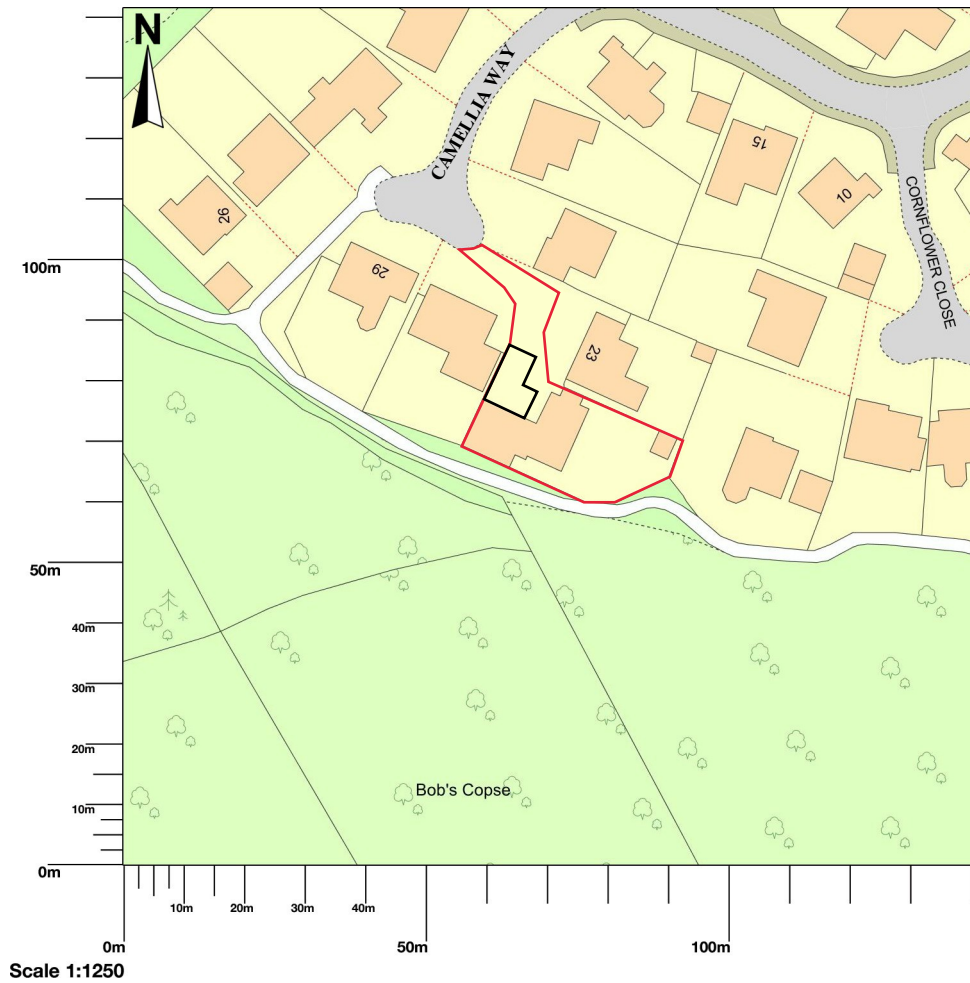
## 25 Camellia Way, Wokingham, RG41 3NB



Map area bounded by: 478600,169062 478690,169152. Produced on 26 April 2021 from the OS National Geographic Database. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2021. Supplied by UKPlanningMaps.com a licensed OS partner (100054135). Unique plan reference: b90cuk/618807/839025

This page is intentionally left blank

## 25 Camellia Way, Wokingham, RG41 3NB



Map area bounded by: 478574,169036 478716,169178. Produced on 26 April 2021 from the OS National Geographic Database. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2021. Supplied by UKPlanningMaps.com a licensed OS partner (100054135). Unique plan reference: p2cuk/618807/839028

This page is intentionally left blank